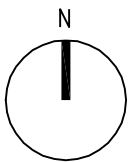
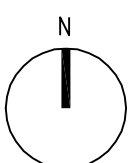


AREA PLAN  
N.T.S



SITE PLAN  
N.T.S



# WILLIAM PATERSON UNIVERSITY OVERLOOK SOUTH RENOVATION

300 POMPTON ROAD  
WAYNE, NJ 07470

100% CONSTRUCTION DOCUMENT SUBMISSION FOR BID  
MARCH 7, 2016



CCH PROJECT NUMBER: 1932

**LANGAN**  
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**Langan Engineering & Enviromental Services**  
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**Partner Engineering and Science, Inc.**  
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M.E.P.

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**Harrison-Hamnett, P.C.**  
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STRUCTURAL

# Clarke Caton Hintz

Planning  
Architecture  
Landscape Architecture  
Historic Preservation

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[www.clarkecatonhintz.com](http://www.clarkecatonhintz.com)



	19	18	17	
	AC	ACRE	SQ	SQUARE
	ACT	ACCOUSTICAL TILE	SQ.FT.	SQUARE FEET
	A/C	AIR CONDITIONING	STD	STANDARD
	ALUM	ALUMINUM	STL	STEEL
	AMP	AMPERE	ST. STL.	STAINLESS STEEL/ STEEL
	ANOD	ANODIZED	STR	STRUCTURE
	L	ANGLE	SUSP(D)	SUSPEND(ED)
8	A	ACCESS PANEL	T	TREAD
	APC	ACOUSTIC PANEL CLG	TBB	TILE BACKER BOARD
	APPROX	APPROXIMATE	TEMP	TEMPERED
	ARCH	ARCHITECT	THER. FIN. BLUE	THERMAL FINISH BLUESTONE
	@	AT	TOS	TOP OF SLAB
	BD	BOARD	TR	TO REMAIN
	BLDG	BUILDING	TBR	TO BE REMOVED
	BLKG	BLOCKING	TBRL	TO BE RELOCATED
9	BM	BEAM	TYP	TYPICAL
	B.M.	BENCH MARK	U	URINAL
	BOT	BOTTOM	UNO	UNLESS NOTED OTHERWISE
	BRG	BEARING	VC	VINYL COVE
	C	CHANNEL	VCT	VINYL COMPOSITION TILE
	CEM	CEMENT	VENT	VENTILATE
	CG	CORNER GUARD	VERT	VERTICAL
	CJ	CONTROL JOINT	VIF	VERIFY IN FIELD
2	CLG	CEILING	W	WEST
	CLKG	CAULKING	WC	WATER CLOSET
	CLR	CLEAR	WD	WOOD
	CMU	CONCRETE MASONRY UNIT	WDPNL	WOOD PANEL SYSTEM
	COL	COLUMN	WR GPDW	WATER RESISTANT GYPSUM DRY WALL
	CONC	CONCRETE	WWF	WELDED WIRE FABRIC
	CONST	CONSTRUCTION	W/	WITH
	CONTR	CONTRACTOR	YD	YARD
	CPT	CARPET(ED)		
4	CT	CERAMIC TILE		
	CU.FT.	CUBIC FEET		
	O	DEGREE		
	DF	DRINKING FOUNTAIN		
	DIAG	DIAGRAM		
	O, DIA	DIAMETER		
	DIM	DIMENSION		
M	O	DOOR NUMBER		
	DN	DOWN		
	DS	DOWNSPOUT		
	DTL	DETAIL		
	DWG	DRAWING		
	E	EAST		
	EA	EACH		
	EIFS	EXTERIOR INSULATION FINISH SYSTEM		
1	ELEC	ELECTRIC		
	ELEV	ELEVATION		
	EW	ELECTRIC WATER COOLER		
	EXG., EXIST.	EXISTING		
	EXP JT., E.J.	EXPANSION JOINT		
	EXT	EXTERIOR		
	F.D.	FLOOR DRAIN		
	F.F.	FINISHED FLOOR		
4	FLASH	FLASHING		
	FLR	FLOOR		
	FND	FOUNDATION		
	FR GPDW	FIBER REINFORCED GYPSUM DRY WALL		
	FT. '	FOOT		
	GA	GAUGE		
	GALV	GALVANIZED		
	GC	GENERAL CONTRACTOR		
	GLS	GLASS, GLAZING		
2	GPDW	GYPSUM DRYWALL		
	GB	GRAB BAR		
	GR	GRADE		
	H.B.	HOSE BIBB		
	H.C.	HANDICAPPED		
	HGT	HEIGHT		
	HM	HOLLOW METAL		
H	HORIZ	HORIZONTAL		
	HP	HORSEPOWER		
	HR	HOOR		
	IN. "	INCH		
	INSUL	INSULATION		
	INT	INTERIOR		
	INV	INVERT		
	JT	JOINT		
	JST	JOIST		
5	KIP	THOUSAND POUNDS		
	LAV	LAVATORY		
	LB. #	POUND		
	LGTH	LENGTH		
	LIN. FT., L.F.	LINEAR FEET		
	LL	LEVEL LINE		
	MAT'L	MATERIAL		
	MECH	MECHANICAL		
1	MFR	MANUFACTURE		
	MH	MANHOLE		
	MIN	MINIMUM		
	MTL	METAL		
	MISC	MISCELLANEOUS		
	M.O.	MASONRY OPENING		
	MOD CPT	MODULAR CARPET TILES		
		NORTH		
1	NAT. CLEFT BLUE	NATURAL CLEFT BLUESTONE		
	NIC	NOT-IN-CONTRACT		
	NO. #	NUMBER		
	O.C.	ON CENTER		
	O.O.	OVERFLOW DRAIN		
	OPNG	OPENING		
	/	PER		
	PLUMB	PLUMBING		
9	PLYWD	PLYWOOD		
	PNL	PANEL		
	PORC TILE	PORCELAIN TILE		
	P.T.	PRESSURE TREATED		
	PTD	PAINTED		
	QT	QUARRY TILE		
	R	RISER		
	R.D.	ROOF DRAIN		
	RAD	RADIUS		
5	REINF	REINFORCING		
	REV	REVEAL		
	RFG	ROOFING		
	RM	ROOM		
	RM	ROOM NUMBER		
	RND	ROUND		
	R.O.	ROUGH OPENING		
	RUB	RUBBER		
8	S	SOUTH		
	SCHED	SCHEDULE		
	SECT	SECTION		
	SHT	SHEET		
	SHTHG	SHEATHING		
	SNT	SEALANT		
	SPEC	SPECIFICATIONS		

	EARTH/COMPACTED FILL		PARTITION TYPE NUMBER
	POROUS FILL/GRAVEL		ELEVATION DESIGNATION LEVEL (ON DETAILS)
	POURED/CAST IN PLACE CONCRETE		ELEVATION STATION POINT (ON PLANS)
	PRECAST CONCRETE		REVISION
	CONCRETE MASONRY UNIT		FLOOR DRAIN
	SPLITFACE CONCRETE MASONRY UNIT		ROOF DRAIN
	GROUNDFACE CONCRETE MASONRY UNIT		AREA DRAIN
	ACCOUSTIC CONCRETE MASONRY UNIT		DOUBLE DOOR
	BRICK		SWINGING DOOR
	GLAZED BRICK		SWINGING DOOR (180° HOLD OPEN)
	STEEL		DOUBLE ACTING DOOR
	ALUMINUM		SLIDING DOOR
	BRASS/BRONZE		POCKET DOOR
	TERRAZZO		HEAVY DASHED - ITEMS TO BE REMOVED (DEMOLISHED)
	PLASTER ON METAL LATH		HIDDEN LINES - ITEMS HIDDEN OR OVERHEAD
	MARBLE		HALFTONE HIDDEN LINES - ITEMS TO BE REMOVED
	BLUE STONE / SLATE		CENTER LINES OF COLUMN GRIDS
	GRANITE		PROJECT LIMIT LINE
	LIMESTONE		PROPERTY LINES
	SEALANT W/ BACKER ROD		NEW OR FINISHED CONTOURS
	WOOD (DRESSED)		EXISTING CONTOURS
	WOOD (ROUGH) STUDS/BLOCKING		SPRINKLER HEAD
	VENEER CORE PLYWOOD (LARGE SCALE)		DOOR TAG (PLANS)
	VENEER CORE PLYWOOD (SMALL SCALE)		DOOR TAG (ELEVATIONS)
	PLASTIC LAMINATE		CORNER GUARDS
	GYPSUM WALL BOARD		SURFACE MOUNT FIRE EXTINGUISHER
	RIGID INSULATION		SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
	BATT INSULATION		WORK POINT
	GLASS (SMALL SCALE)		ENTRY POINT
	GLASS (LARGE SCALE)		
	INSULATING GLASS UNIT		
	VINYL COMPOSITION TILE		
	CARPET		
	CERAMIC TILE		
	ACOUSTICAL TILE		
	MEMBRANE VAPOR BARRIER & ADHESIVE		
	MEMBRANE MOISTURE BARRIER & ADHESIVE		
	INDICATES DIRECTION OF WD GRAIN		
	DETAIL TAG		
	SECTION/ELEVATION TAG		
	INTERIOR ELEVATIONS, SAME SHEET NO. TAG		
	NORTH ARROW		
	COLUMN CENTER LINE		
	LOUNGE 101		
	SIGNAGE TYPE		
	C-1 +9'-0"		
	WORKPOINT		

DWG.NO.	DRAWING TITLE	SCALE
<b>GENERAL</b>		
CS	COVER SHEET	N.T.S.
G-001	SYMBOL INDEX, ABBREV. INDEX, & DRAWING INDEX	N.T.S.
<b>DEMOLITION</b>		
D-107	LEVEL C & D DEMO PLANS	AS NOTED
D-108	LEVEL E DEMO PLANS	AS NOTED
D-109	LEVEL F DEMO PLANS	AS NOTED
D-110	LEVEL G DEMO PLANS	AS NOTED
D-111	LEVEL H DEMO PLANS	AS NOTED
D-701	DEMO ELEVATIONS	AS NOTED
D-702	DEMO ELEVATIONS	AS NOTED
<b>ARCHITECTURAL</b>		
A-107	LEVEL C & D FLOOR PLANS	AS NOTED
A-108	LEVEL E FLOOR PLANS	AS NOTED
D-109	LEVEL F FLOOR PLANS	AS NOTED
D-110	LEVEL G FLOOR PLANS	AS NOTED
D-111	LEVEL H FLOOR PLANS	AS NOTED
D-701	ELEVATIONS	AS NOTED
A-702	ELEVATIONS	AS NOTED
A-901	DOOR SCHEDULE & WINDOW DTLs	AS NOTED
<b>PLUMBING</b>		
P-001	PLUMBING FLOOR PLAN AND RISER DIAGRAMS	AS NOTED
<b>ELECTRICAL</b>		
E-001	ELECTRICAL FLOOR PLANS AND NOTES	AS NOTED

GENERAL NOTES:

1. GENERAL CONTRACTOR IS TO CLEAN ALL WINDOWS PRIOR TO FINAL COMPLETION. INCLUDES OVERLOOK NORTH.
2. GENERAL CONTRACTOR IS TO INSTALL OWNER PROVIDED MOVING BLANKETS AND ELEVATOR CAB PROTECTION AT BOTH ELEVATORS.
3. GENERAL CONTRACTOR IS TO WRAP EXISTING WINDOW TREATMENTS IN PLASTIC BAGS AT THE BEGINNING OF THE PROJECT. G.C. TO REINSTALL WINDOW TREATMENTS PRIOR TO FINAL COMPLETION.

SUBMISSIONS		
NO.	DATE	DESCRIPTION
1	01/21/16	50% CD SUBMISSION
2	02/18/16	90% CD SUBMISSION
3	03/07/16	100% CD SUBMISSION FOR BID

REVISIONS	
H	

ARCHITECT  
NJ LICENSE NO 21A01300200

GEORGE M. HIBBS, AIA

DATE --/--/----

**WILLIAM PATERSON  
UNIVERSITY  
OVERLOOK SOUTH  
RENOVATION  
WAYNE, NEW JERSEY**

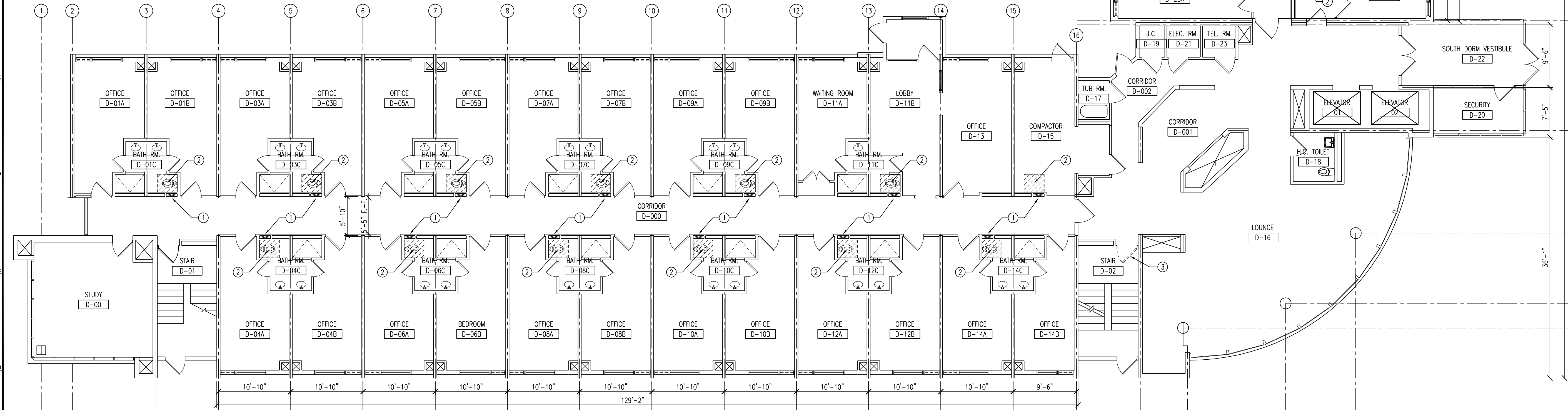
DATE:	03/07/16
SCALE:	NTS
DRAWN BY:	SH
CHECKED BY:	SD

SHEET TITLE:  
SYMBOL INDEX,  
ABBREV. INDEX,  
& DRAWING  
INDEX

DRAWING NO.:	
<b>G-001</b>	
CCH PROJECT NO:	1932

M20 DEMO PLAN - SOUTH - LEVEL C

SCALE: 1/8" = 1'-0"



A20 DEMO PLAN - SOUTH WING - LEVEL D

SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

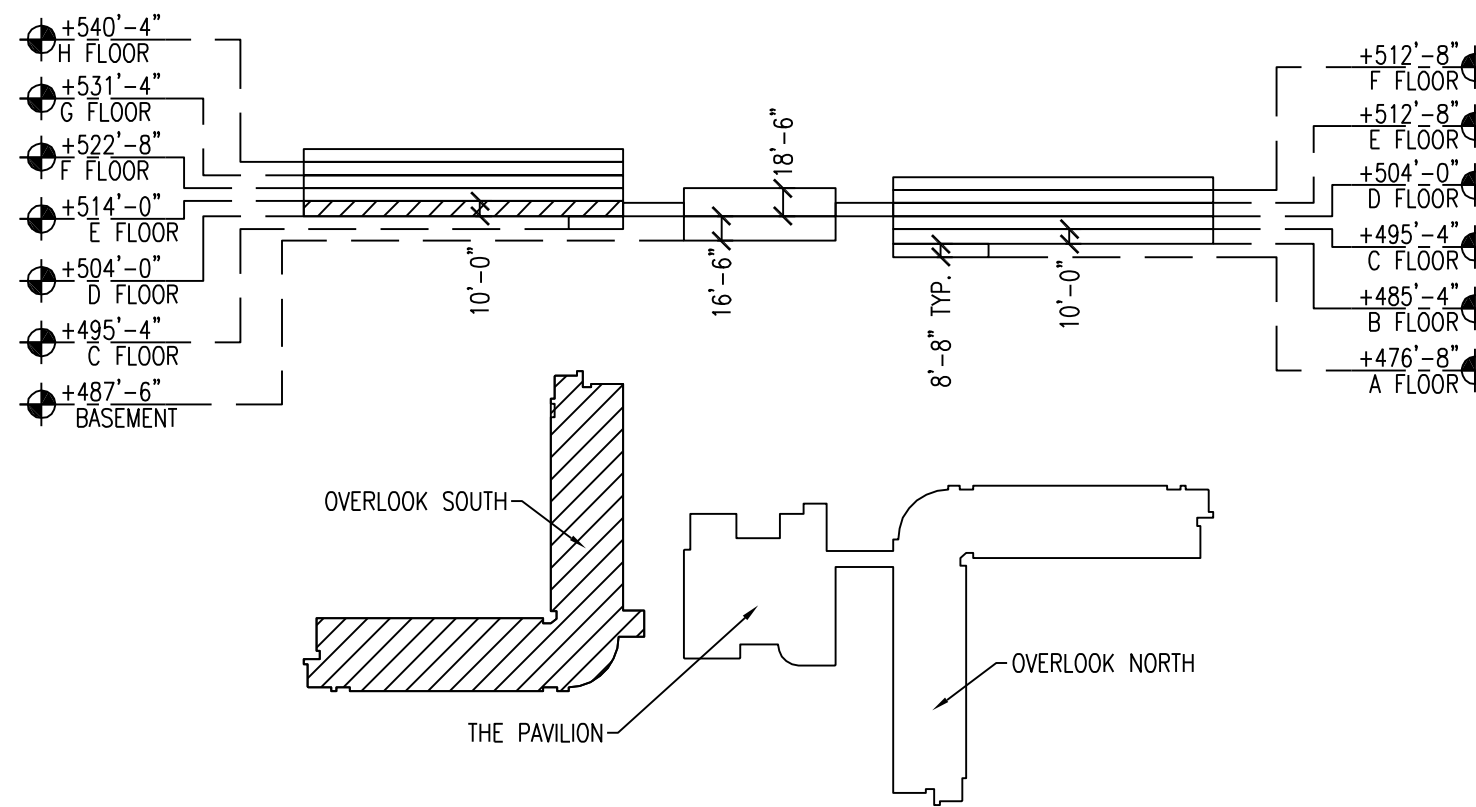
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND COORDINATE ALL REMOVAL WORK WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO BEGINNING REMOVALS.
2. PROTECT ALL CONSTRUCTION TO REMAIN FROM DAMAGE DURING REMOVAL OF ADJACENT CONSTRUCTION. REPAIR/REPLACE CONSTRUCTION TO REMAIN THAT WAS DAMAGED DURING DEMOLITION TO MATCH THE QUALITY OF THE NEW WORK.
3. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING ELECTRICAL, MECHANICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THE CONTRACT. CONTRACTOR SHALL INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED PRIOR TO SUBMITTAL OF BID AND DO THAT WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AND AT NO ADDITIONAL COST TO THE OWNER.
4. REPAIR, PATCH, AND FINISH, OR REFINISH AS APPLICABLE, TO MATCH ADJACENT EXISTING FINISHES DAMAGED OR NEWLY EXPOSED DURING THE PERFORMANCE OF THE WORK OF THIS CONTRACT.
5. WHERE CONDUITS, PIPING AND SIMILAR ITEMS ARE SHOWN TO BE INSTALLED IN EXISTING WALLS, NEATLY CHASE THE WALLS TO MAKE THE INSTALLATION NOT DISCREPANT IN THE FINISHED WORK. REFERENCE AND COORDINATE PROPERLY WITH THE MEP DRAWINGS FOR SYSTEMS ROUTING.
6. WHEN REMOVING EXISTING FLOOR FINISHES, COMPLETELY REMOVE LOOSE MATERIALS AND DAMAGED SUBSTRATE MATERIALS.
7. WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH THE EXISTING.
8. WHERE EXISTING CONSTRUCTION AND UTILITIES ARE REMOVED OR ALTERED, PATCH AND REPAIR DISTURBED SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISHES.
9. PROVIDE TEMPORARY SUPPORT AS MAY BE REQUIRED FOR ALL AREAS THAT REQUIRE IT, SO THE STRUCTURE IS FULLY SUPPORTED AT ALL TIMES.
10. PROTECTION: ENSURE THE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION; SEAL OFF AREAS TO CONTAIN DUST AND DEBRIS FROM ADJACENT SPACES; PROVIDE ADEQUATE SHORING AND BRACING.
11. POLLUTION CONTROLS: COMPLY WITH APPLICABLE GOVERNING REGULATIONS. ERECT BARRIERS AND UTILIZE DEMOLITION METHODS TO MINIMIZE SPREAD OF DUST, DRIFT AND DEBRIS INTO ADJACENT FACILITIES AND BUILDINGS. RETURN ADJACENT AREAS TO THE CONDITION EXISTING PRIOR TO THE START OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
12. REMOVE EXISTING HANGERS, BOLTS, FASTENERS, NAILS, ETC. FROM EXISTING SURFACES THAT WILL BE EXPOSED TO VIEW IN FINISHED SPACE.
13. CONTRACTOR SHALL CAREFULLY CUT OPENINGS IN EXISTING WALL AND FLOOR CONSTRUCTION FOR NEW PENETRATIONS (I.E. PIPING, CONDUIT, DUCTS, ETC.). IF APPLICABLE, ALLOW SPACE FOR SLEEVE. FILL-IN REMAINING OPENING AROUND PENETRATION WITH MATERIAL TO MATCH ADJACENT CONSTRUCTION AND FIREPROOF IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. COORDINATE WITH MEP, ARCHITECTURAL AND STRUCTURAL DRAWINGS AND REQUIREMENTS FOR NEW CONSTRUCTION.
14. DEFINITIONS:
  - A. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR EXISTING.
  - B. SALVAGE: ITEMS INDICATED TO BE SALVAGED SHALL REMAIN THE OWNER'S PROPERTY. REMOVE, CLEAN AND PACK OR CRATE ITEMS TO PROTECT AGAINST DAMAGE. IDENTIFY CONTENTS OF CONTAINERS AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
  - C. REINSTALL: REMOVE ITEMS INDICATED. CLEAN, SERVICE AND OTHERWISE PREPARE THEM FOR REUSE. STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN THE SAME LOCATIONS OR IN LOCATIONS INDICATED.
  - D. EXISTING: ORIGINAL ITEM TO REMAIN. PROTECT CONSTRUCTION INDICATED AS EXISTING AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.
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  - F. REPLACE: EXISTING ITEM TO BE REMOVED. PROVIDE NEW ITEM TO MATCH EXISTING.
15. GC TO REMOVE ALL LOOSE FURNISHINGS U.N.O.

K4 GENERAL DEMOLITION NOTES

DEMOLITION PLAN KEY NOTES

- 1 REMOVE (2) LAYERS OF EXISTING 5/8" CMB. 3'-0" WIDE, 8'-0" HIGH
- 2 REMOVE 2'-8" X 3'-0" CMB CEILING
- 3 REMOVE EXISTING HM DOOR IN ITS ENTIRETY
- 4 REMOVE EXISTING LOUVER

H4 DEMOLITION PLAN KEY NOTES



A4 KEY PLAN

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Planning  
Landscape Architecture  
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(973) 720-2000

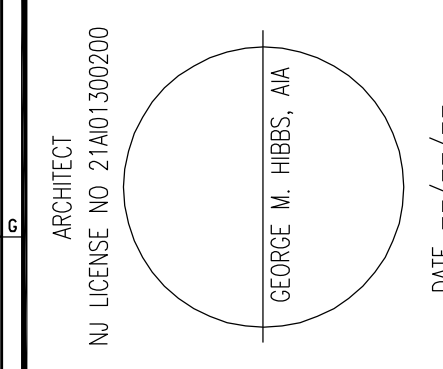
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**MECHANICAL/ELECTRICAL/PLUMBING:**  
PARTNER ENGINEERING AND SCIENCE, INC.  
611 INDUSTRIAL WAY WEST  
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NO.	DATE	DESCRIPTION
1	01/21/16	SUB CD SUBMISSION
2	02/16/16	SUB CD SUBMISSION
3	03/07/16	100% CD SUBMISSION FOR BID

NO.	DATE	DESCRIPTION
1	01/21/16	SUB CD SUBMISSION
2	02/16/16	SUB CD SUBMISSION
3	03/07/16	100% CD SUBMISSION FOR BID



**WILLIAM PATERSON  
UNIVERSITY  
OVERLOOK SOUTH  
RENOVATION**  
WAYNE, NEW JERSEY

DATE: 03/07/16  
SCALE: 1/8" = 1'-0"  
DRAWN BY: SH  
CHECKED BY: SD

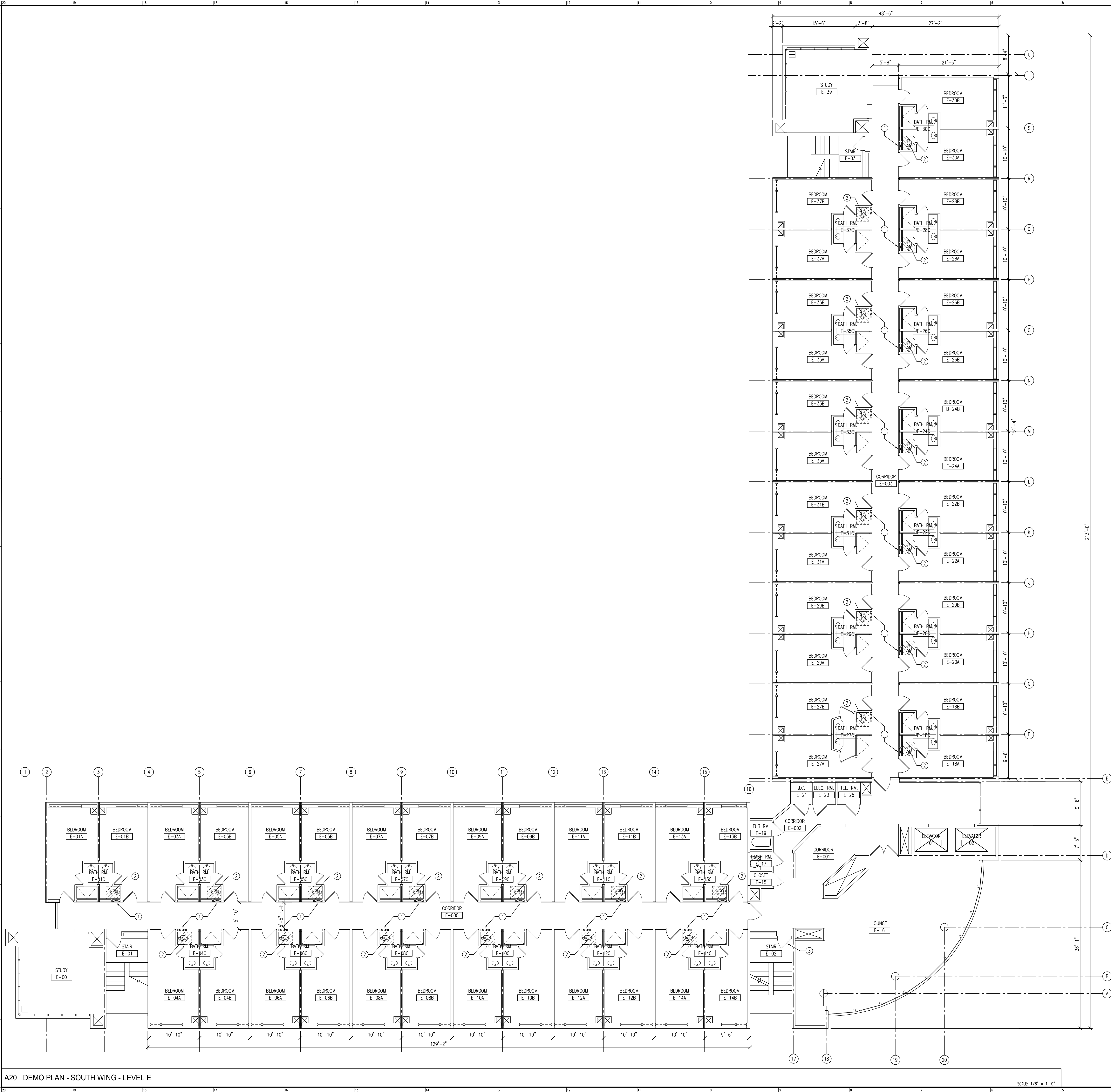
SHEET TITLE:  
**LEVEL C & D  
DEMO PLANS**

DRAWING NO.:

**D-107**

CCH PROJECT NO: 1932

123160304 (4/8/21)  
shades 1/19/01/1932\_WilliamPateronDorms (DWG) 1 - Sheets 0 - 108.dwg



GENERAL DEMOLITION NOTES:

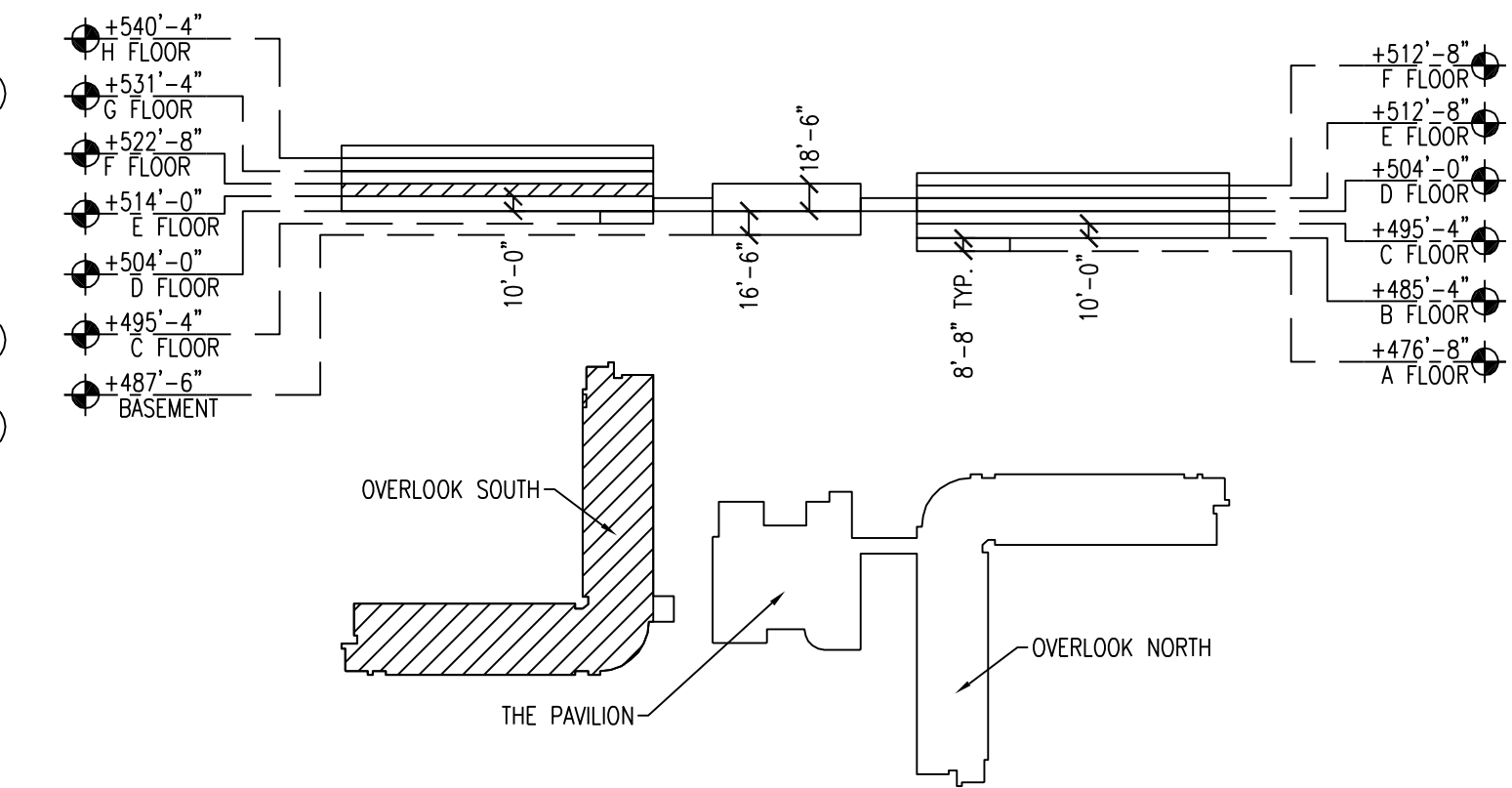
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  - RESTORE:** ITEMS INDICATED SHALL BE BROUGHT BACK TO THEIR ORIGINAL CONDITION. ORIGINAL CONDITION IS THE CONDITION THAT THE REFERENCED ITEM WAS IN WHEN THE BUILDING WAS FIRST CONSTRUCTED.
  - REPLACE:** EXISTING ITEM TO BE REMOVED. PROVIDE NEW ITEM TO MATCH EXISTING.
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K4 GENERAL DEMOLITION NOTES

DEMOLITION PLAN KEY NOTES

- REMOVE (2) LAYERS OF EXISTING 5/8" GWB. 3'-0" WIDE, 8'-0" HIGH
- REMOVE 2'-8" X 3'-0" GWB CEILING
- REMOVE EXISTING HW DOOR IN ITS ENTIRETY
- REMOVE EXISTING LOUVER

H4 DEMOLITION PLAN KEY NOTES



A4 KEY PLAN

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Planning  
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LAWRENCEVILLE, NJ 08648  
(609) 282-8000

**STRUCTURAL:**  
HARRISON & HAMNETT  
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**MECHANICAL/ELECTRICAL/PLUMBING:**  
PARTNER ENGINEERING AND SCIENCE, INC.  
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NO.	DATE	DESCRIPTION
1	01/21/16	FOR CD SUBMISSION
2	02/18/16	FOR CD SUBMISSION
3	03/07/16	100% CD SUBMISSION FOR BID

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3	03/07/16	100% CD SUBMISSION FOR BID

ARCHITECT  
NJ LICENSE NO. 214030000  
GEORGE M. HIBBS, AIA  
DATE: --/--/--

**WILLIAM PATERSON  
UNIVERSITY  
OVERLOOK SOUTH  
RENOVATION  
WAYNE, NEW JERSEY**

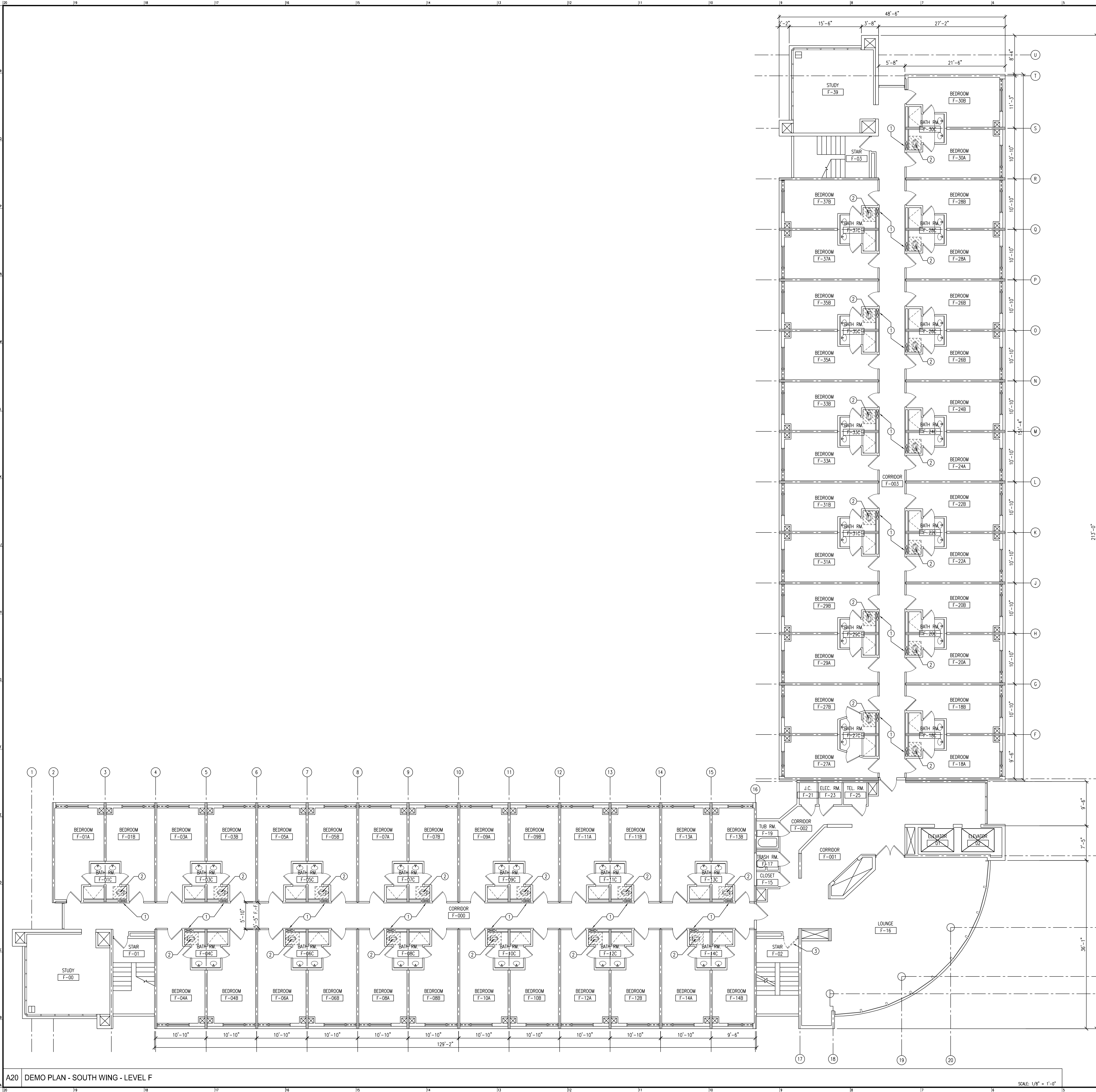
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DRAWN BY: SH  
CHECKED BY: SD

SHEET TITLE:  
**LEVEL E  
DEMO PLAN**

DRAWING NO.:  
**D-108**  
CCH PROJECT NO.: 1932



123160304 1543321  
shides 11/19/01 1932 WilliamPateronDorms\DWG\3-1-Sheets\0-109.dwg



#### GENERAL DEMOLITION NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND COORDINATE ALL REMOVAL WORK WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO BEGINNING REMOVALS.
- PROTECT ALL CONSTRUCTION TO REMAIN FROM DAMAGE DURING REMOVAL OF ADJACENT CONSTRUCTION. REPAIR/REPLACE CONSTRUCTION TO REMAIN THAT WAS DAMAGED DURING DEMOLITION TO MATCH THE QUALITY OF THE NEW WORK.
- INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING ELECTRICAL, MECHANICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THE CONTRACT. CONTRACTOR SHALL INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED PRIOR TO SUBMITTAL OF BID AND DO THAT WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AND AT NO ADDITIONAL COST TO THE OWNER.
- REPAIR, PATCH, AND FINISH, OR REFINISH AS APPLICABLE, TO MATCH ADJACENT EXISTING FINISHES DAMAGED OR NEWLY EXPOSED DURING THE PERFORMANCE OF THE WORK OF THIS CONTRACT.
- WHERE CONDUITS, PIPING AND SIMILAR ITEMS ARE SHOWN TO BE INSTALLED IN EXISTING WALLS, NEATLY CHASE THE WALLS TO MAKE THE INSTALLATION NOT DISCERNIBLE IN THE FINISHED WORK. REFERENCE AND COORDINATE PROPERLY WITH THE MEP DRAWINGS FOR SYSTEMS ROUTING.
- WHEN REMOVING EXISTING FLOOR FINISHES, COMPLETELY REMOVE LOOSE MATERIALS AND DAMAGED SUBSTRATE MATERIALS.
- WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH THE EXISTING.
- WHERE EXISTING CONSTRUCTION AND UTILITIES ARE REMOVED OR ALTERED, PATCH AND REPAIR DISTURBED SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISHES.
- PROVIDE TEMPORARY SUPPORT AS MAY BE REQUIRED FOR ALL AREAS THAT REQUIRE IT, SO THE STRUCTURE IS FULLY SUPPORTED AT ALL TIMES.
- PROTECTION: ENSURE THE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION; SEAL OFF AREAS TO CONTAIN DUST AND DEBRIS FROM ADJACENT SPACES; PROVIDE ADEQUATE SHORING AND BRACING.
- POLLUTION CONTROLS: COMPLY WITH APPLICABLE GOVERNING REGULATIONS. ERECT BARRIERS AND UTILIZE DEMOLITION METHODS TO MINIMIZE SPREAD OF DUST, DIRT AND DEBRIS INTO ADJACENT FACILITIES AND BUILDINGS. RETURN ADJACENT AREAS TO THE CONDITION EXISTING PRIOR TO THE START OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- REMOVE EXISTING HANGERS, BOLTS, FASTENERS, NAILS, ETC. FROM EXISTING SURFACES THAT WILL BE EXPOSED TO VIEW IN FINISHED SPACE.
- CONTRACTOR SHALL CAREFULLY CUT OPENINGS IN EXISTING WALL AND FLOOR CONSTRUCTION FOR NEW PENETRATIONS (I.E. PIPING, CONDUIT, DUCTS, ETC.). IF APPLICABLE, ALLOW SPACE FOR SLEEVE. FILL-IN REMAINING OPENING AROUND PENETRATION WITH MATERIAL TO MATCH ADJACENT CONSTRUCTION AND FIREPROOF IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. COORDINATE WITH MEP, ARCHITECTURAL AND STRUCTURAL DRAWINGS AND REQUIREMENTS FOR NEW CONSTRUCTION.
- DEFINITIONS:
  - REMOVE:** REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR EXISTING.
  - SALVAGE:** ITEMS INDICATED TO BE SALVAGED SHALL REMAIN THE OWNER'S PROPERTY. REMOVE, CLEAN AND PACK OR CRATE ITEMS TO PROTECT AGAINST DAMAGE. IDENTIFY CONTENTS OF CONTAINERS AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
  - REINSTALL:** REMOVE ITEMS INDICATED. CLEAN, SERVICE AND OTHERWISE PREPARE THEM FOR REUSE. STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN THE SAME LOCATIONS OR IN LOCATIONS INDICATED.
  - EXISTING:** ORIGINAL ITEM TO REMAIN. PROTECT CONSTRUCTION INDICATED AS EXISTING AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.
  - RESTORE:** ITEMS INDICATED SHALL BE BROUGHT BACK TO THEIR ORIGINAL CONDITION. ORIGINAL CONDITION IS THE CONDITION THAT THE REFERENCED ITEM WAS IN WHEN THE BUILDING WAS FIRST CONSTRUCTED.
  - REPLACE:** EXISTING ITEM TO BE REMOVED. PROVIDE NEW ITEM TO MATCH EXISTING.
- GC TO REMOVE ALL LOOSE FURNISHINGS U.N.O.

#### K4 GENERAL DEMOLITION NOTES

#### DEMOLITION PLAN KEY NOTES

- REMOVE (2) LAYERS OF EXISTING 5/8" GWB. 3'-0" WIDE, 8'-0" HIGH
- REMOVE 2'-8" X 3'-0" GWB CEILING
- REMOVE EXISTING HM DOOR IN ITS ENTIRETY
- REMOVE EXISTING LOUVER

#### H4 DEMOLITION PLAN KEY NOTES

#### A4 KEY PLAN

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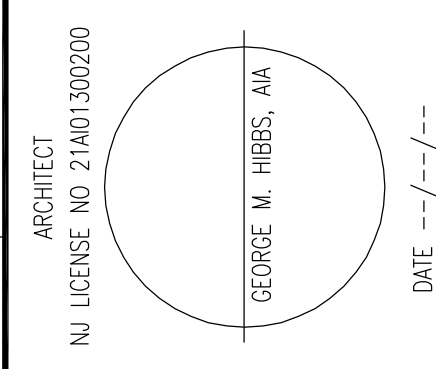
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**WILLIAM PATERSON  
UNIVERSITY  
OVERLOOK SOUTH  
RENOVATION  
WAYNE, NEW JERSEY**

DATE: 03/07/16  
SCALE: 1/8" = 1'-0"  
DRAWN BY: SH  
CHECKED BY: SD

SHEET TITLE:  
**LEVEL F  
DEMO PLAN**

DRAWING NO.:

**D-109**

CCH PROJECT NO: 1932

A20 DEMO PLAN - SOUTH WING - LEVEL F

SCALE: 1/8" = 1'-0"





SCALE: 1/8" = 1'-0"

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16. GC TO REMOVE ALL LOOSE FURNISHINGS U.N.O.

## DEMOLITION PLAN KEY NOTES

- |    |                           |
|----|---------------------------|
| H4 | DEMOLITION PLAN KEY NOTES |
|----|---------------------------|



**OWNER:**  
WILLIAM PATERSON UNIVERSITY  
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(732) 380-1700

ARCHITECT  
NJ LICENSE NO 21A01300200

GEORGE M. HIBBS, AIA

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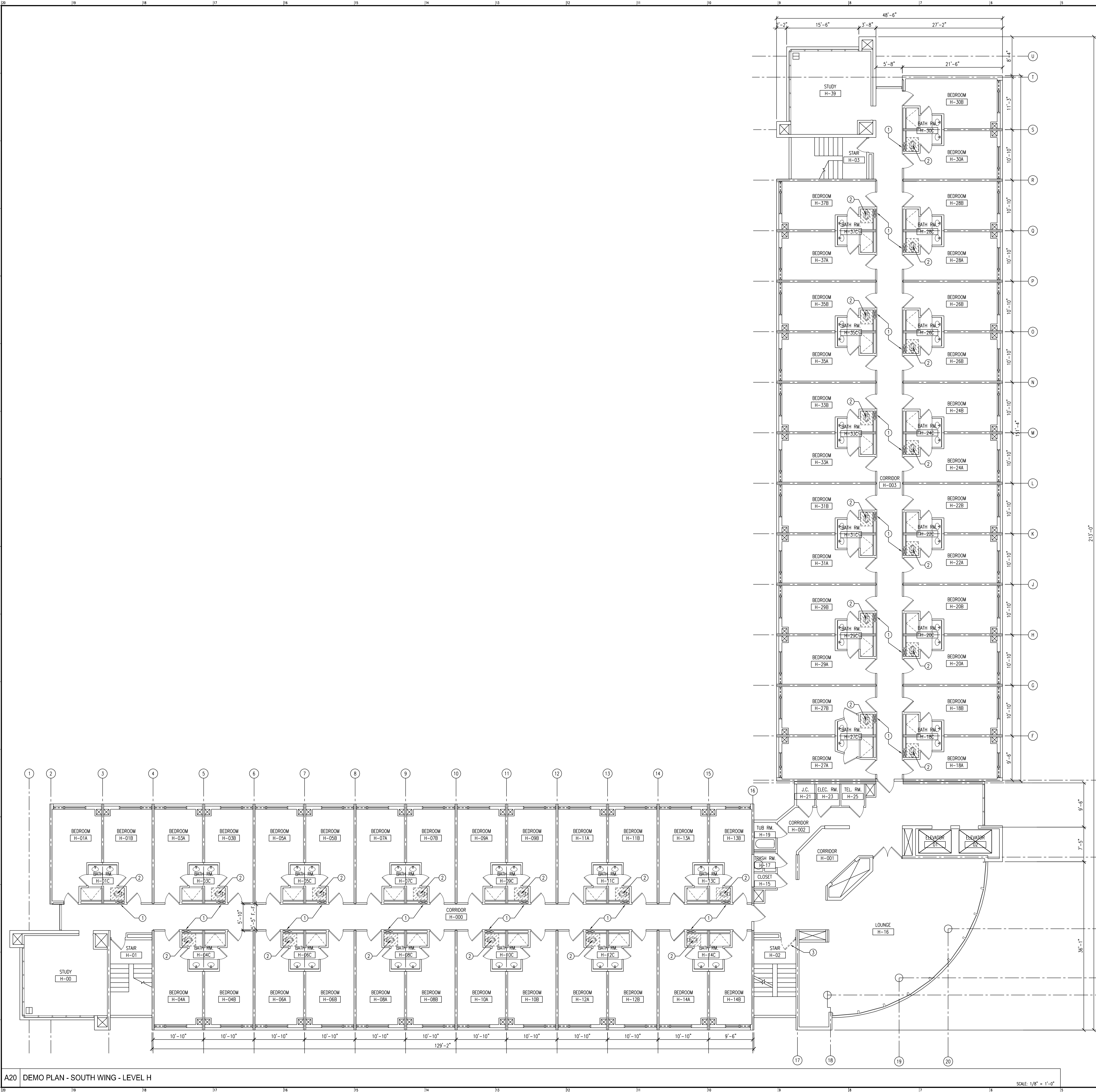
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DRAWN BY:	SH
CHECKED BY:	SD

DRAWING NO.:

CCH PROJECT NO:	1932
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GENERAL DEMOLITION NOTES:

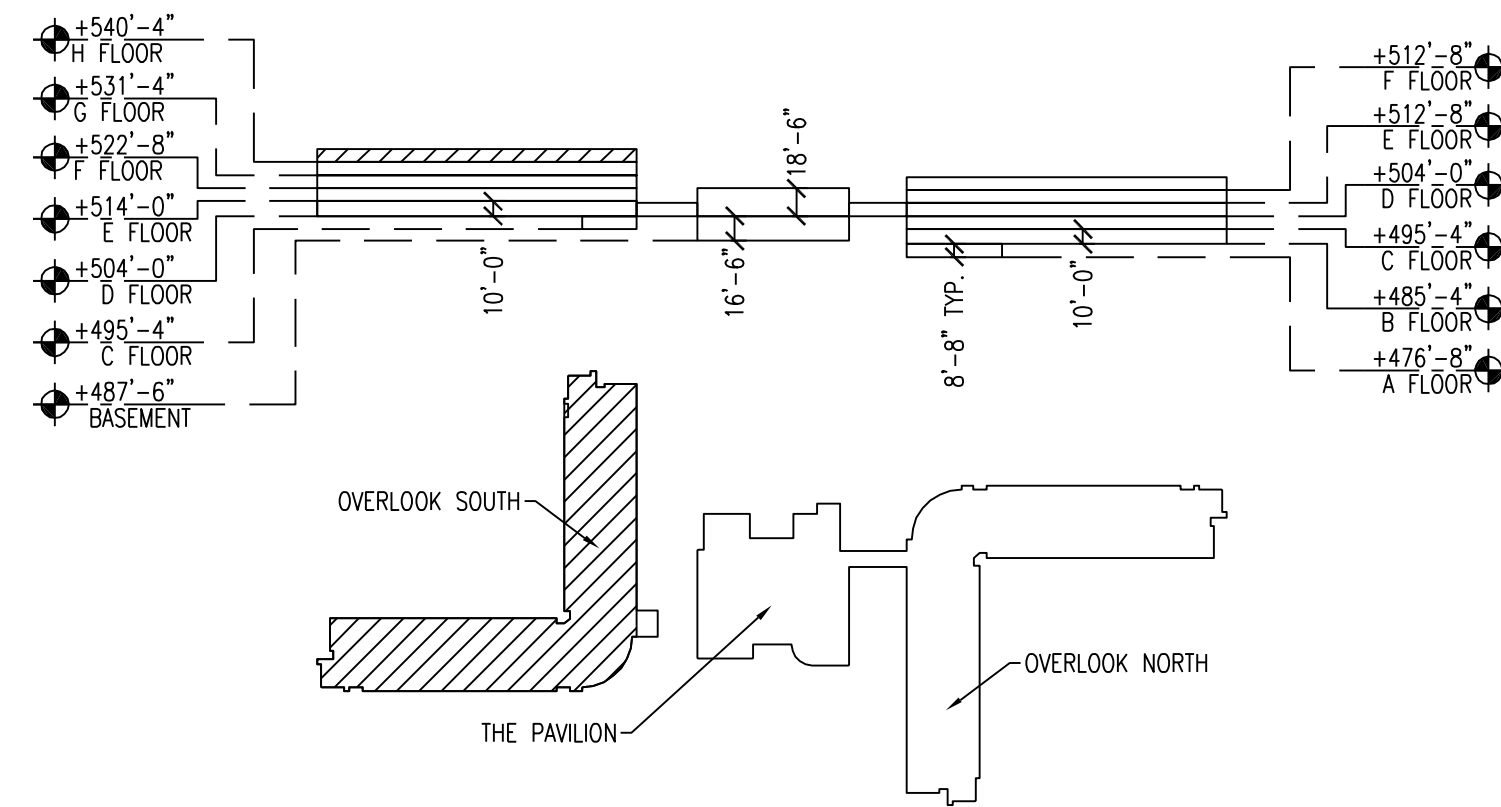
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  - REPLACE:** EXISTING ITEM TO BE REMOVED. PROVIDE NEW ITEM TO MATCH EXISTING.
- GO TO REMOVE ALL LOOSE FURNISHINGS U.N.O.

K4 GENERAL DEMOLITION NOTES

DEMOLITION PLAN KEY NOTES

- REMOVE (2) LAYERS OF EXISTING 5/8" GWB. 3'-0" WIDE, 8'-0" HIGH
- REMOVE 2'-8" x 3'-0" GWB CEILING
- REMOVE EXISTING HW DOOR IN ITS ENTIRETY
- REMOVE EXISTING LOUVER

H4 DEMOLITION PLAN KEY NOTES



A4 KEY PLAN

**Clarke Caton Hintz**  
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ARCHITECT	DATE
NJ LICENSE NO. 214030020	---
GEORGE W. HIBBS, AIA	---

**WILLIAM PATERSON  
UNIVERSITY  
OVERLOOK SOUTH  
RENOVATION**  
WAYNE, NEW JERSEY

DATE: 03/07/16  
SCALE: 1/8" = 1'-0"  
DRAWN BY: SH  
CHECKED BY: SD

SHEET TITLE:  
LEVEL H  
DEMO PLAN

DRAWING NO.:

**D-111**

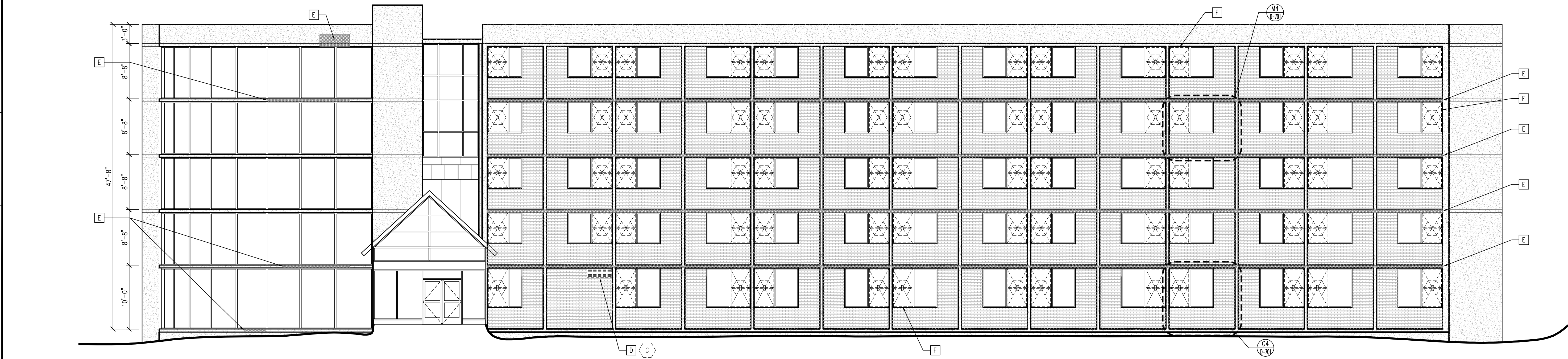
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A20 DEMO PLAN - SOUTH WING - LEVEL H

SCALE: 1/8" = 1'-0"

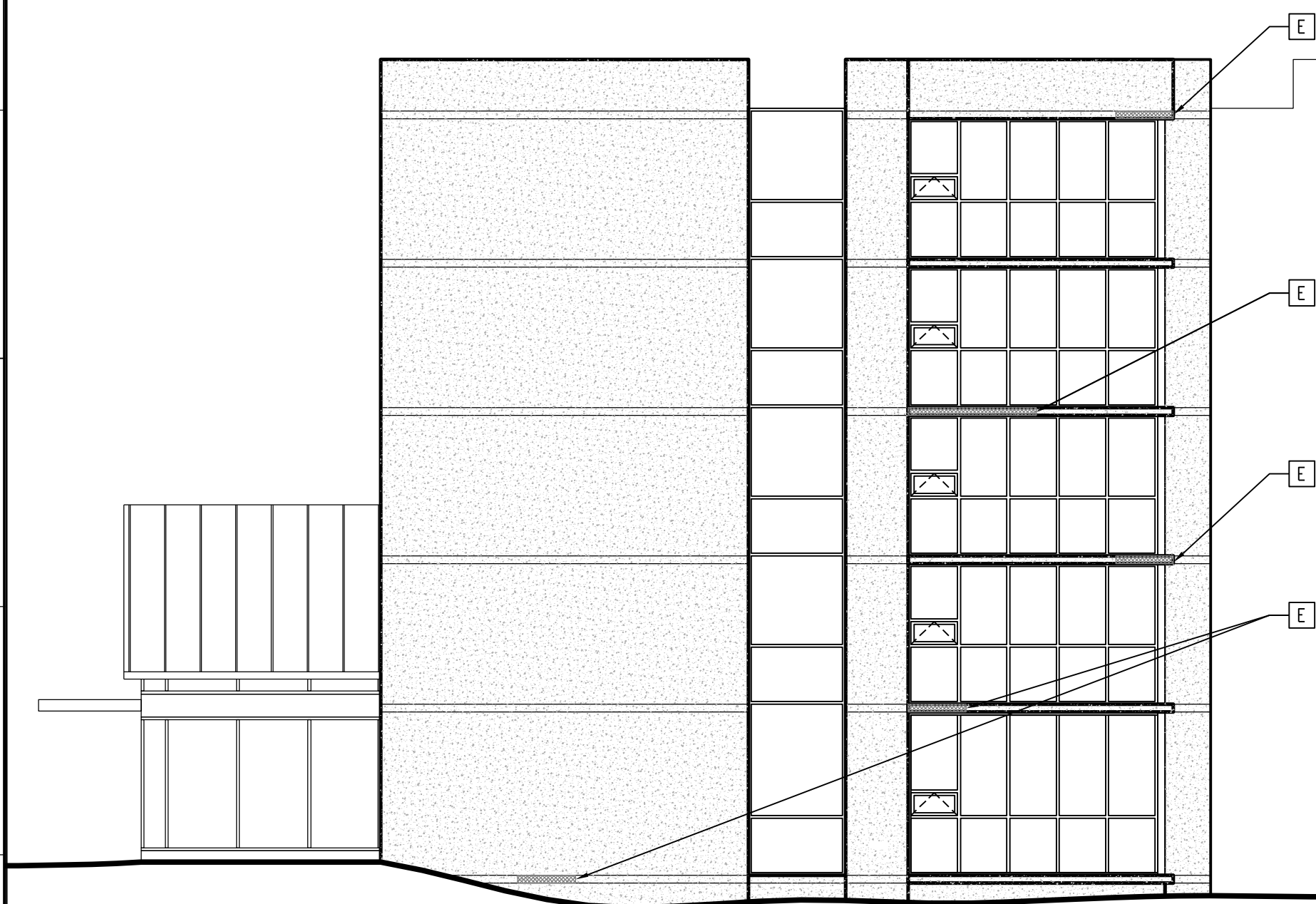


Q20 KEY PLAN



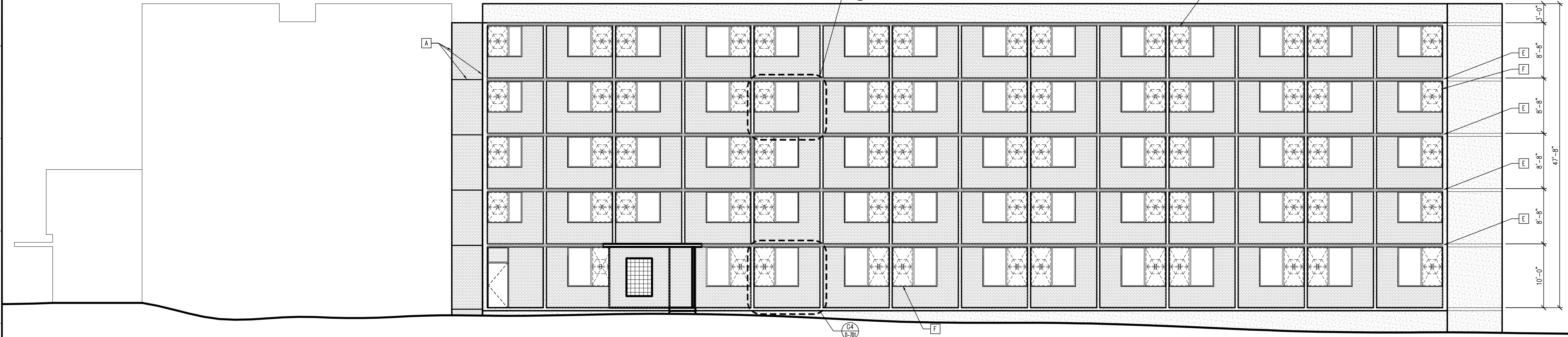
L20 NORTH DEMO ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"



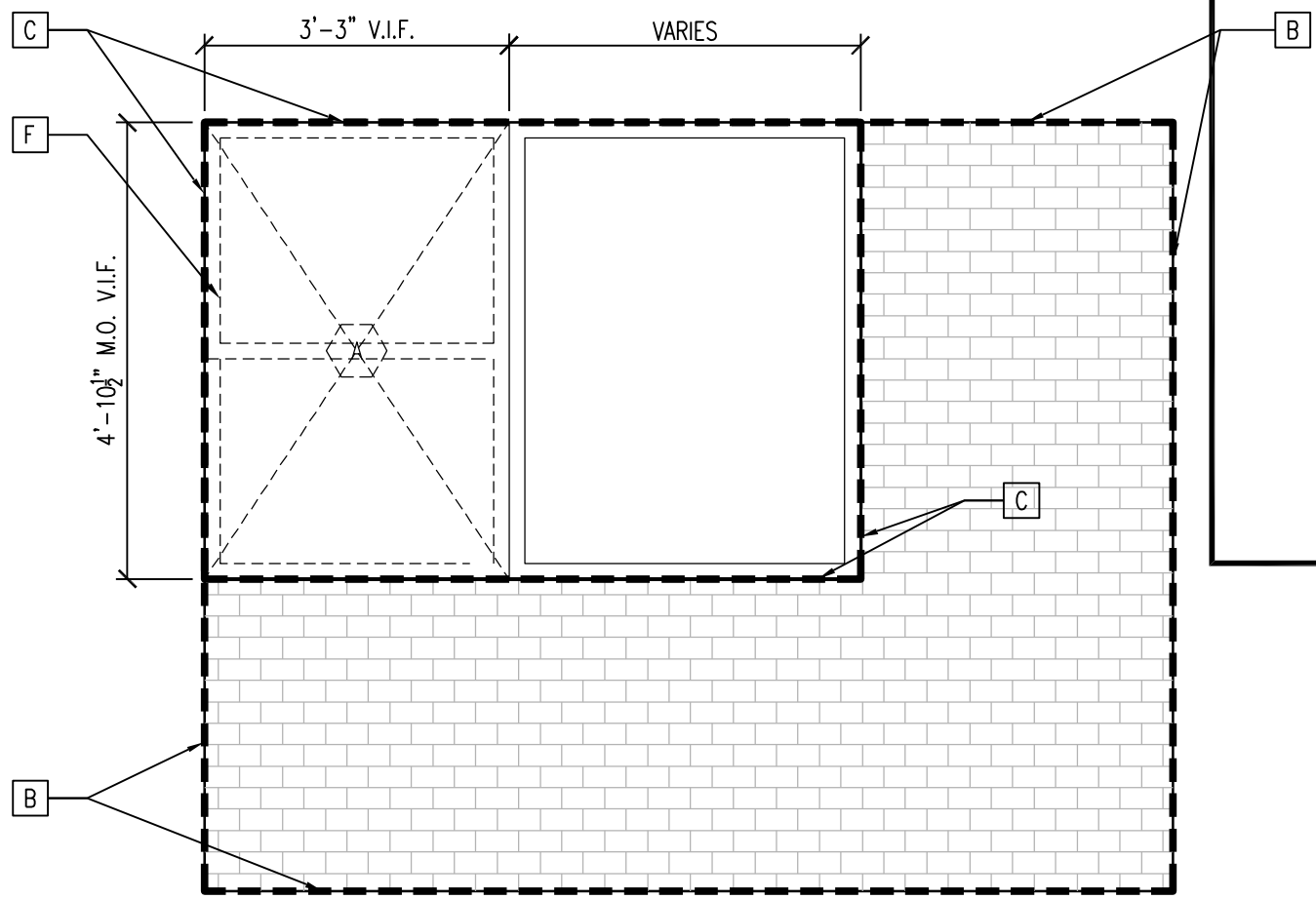
F20 WEST ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"



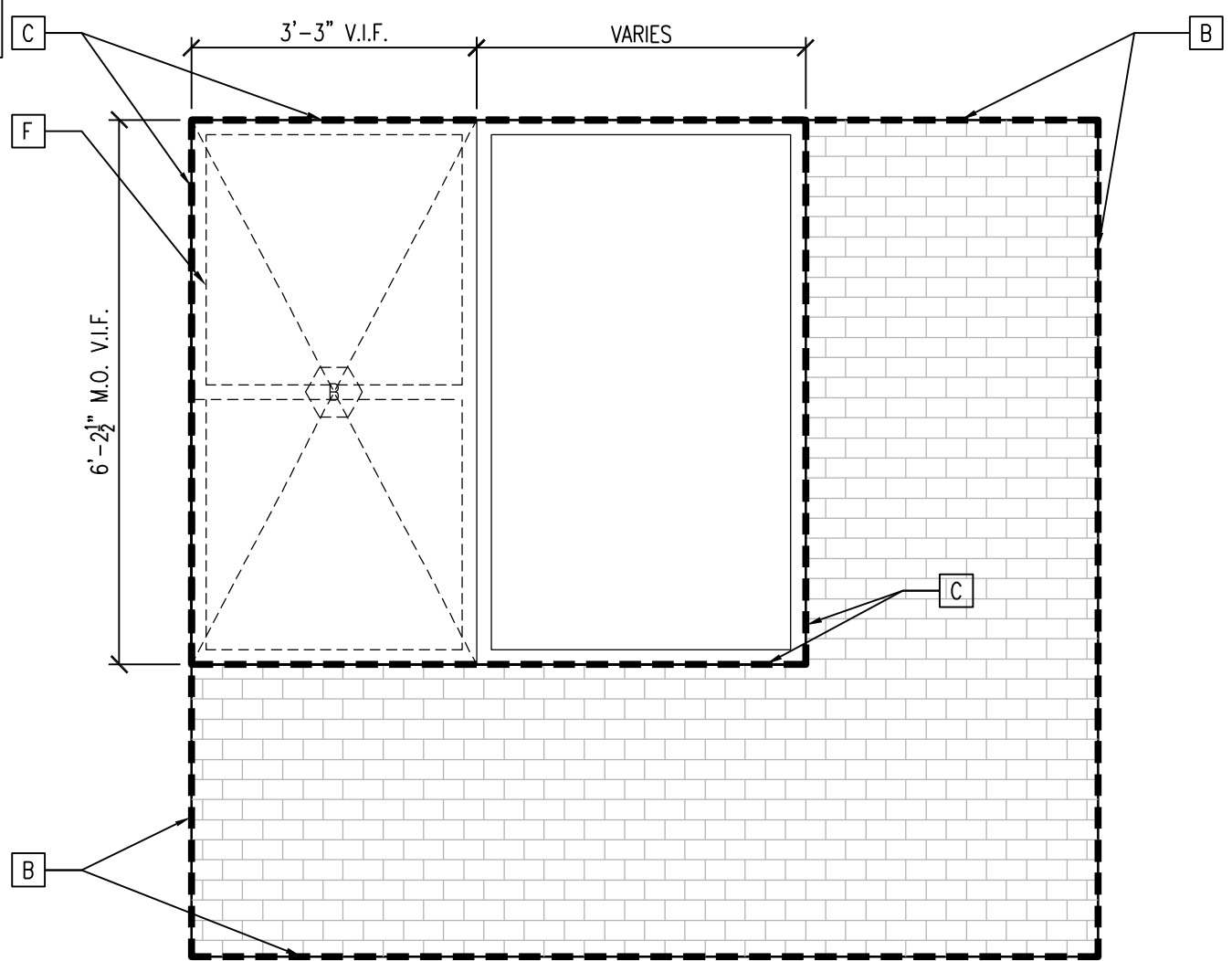
A20 WEST DEMO ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"



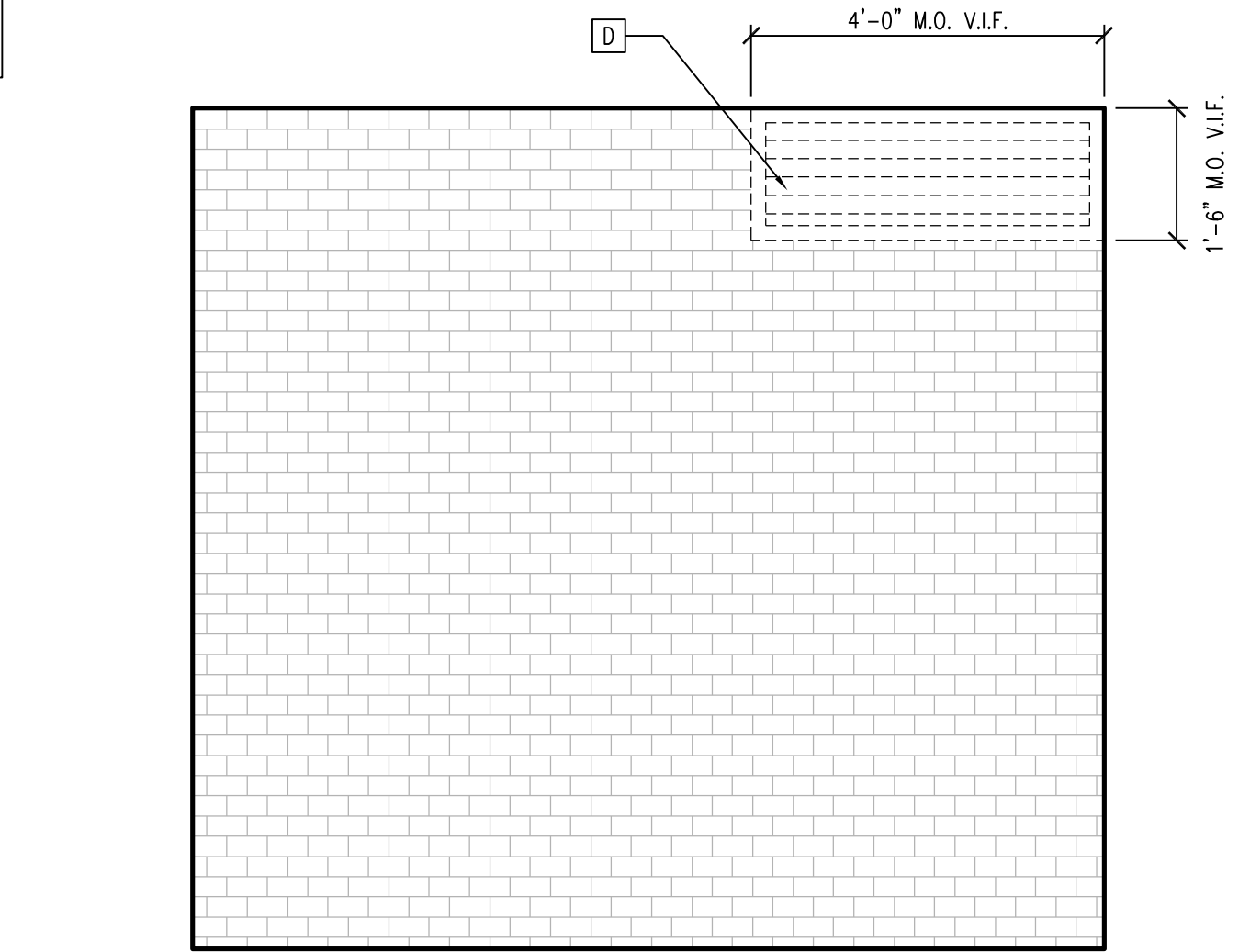
M4 TYPICAL WINDOW UNIT "A" TO BE REMOVED

SCALE: 1/2" = 1'-0"



G4 TYPICAL WINDOW UNIT "B" TO BE REMOVED

SCALE: 1/2" = 1'-0"



B4 LAUNDRY ROOM LOUVER TO BE REMOVED

SCALE: 1/2" = 1'-0"

DEMOLITION ELEVATION KEY NOTES

- A REMOVE EXISTING SEALANT JOINTS AT BRICK RELIEVING ANGLES, VERTICAL BRICK MOVEMENT JOINTS, AND AT VERTICAL BRICK TO CONCRETE MOVEMENT JOINTS (TYPICAL)
- B REMOVE EXISTING SEALANT JOINT BETWEEN BRICK AND CONCRETE STRUCTURE (TYPICAL)
- C REMOVE EXISTING SEALANT JOINT BETWEEN EXISTING WINDOW FRAME TO REMAIN AND THE EXISTING BRICK AND CONCRETE STRUCTURE (TYPICAL)
- D REMOVE EXISTING LOUVER
- E CHIP CONCRETE DOWN TO SOUND MATERIAL, SAND BLAST CONCRETE AND ANY EXPOSED REBAR AS PER THE PROJECT SPECIFICATIONS (TYPICAL)
- F REMOVE EXISTING ALUMINUM DOUBLE HUNG WINDOW (TYPICAL)

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REVISIONS

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**WILLIAM PATERSON  
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RENOVATION  
WAYNE, NEW JERSEY**

DATE: 03/07/16  
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DRAWN BY: SH  
CHECKED BY: SD

SHEET TITLE:  
**DEMO  
ELEVATIONS**

DRAWING NO.:

**D-701**

CCH PROJECT NO: 1932



Q20 KEY PLAN

DEMOLITION ELEVATION KEY NOTES

- [A] REMOVE EXISTING SEALANT JOINTS AT BRICK RELIEVING ANGLES, VERTICAL BRICK MOVEMENT JOINTS, AND AT VERTICAL BRICK TO CONCRETE MOVEMENT JOINTS (TYPICAL)
- [B] REMOVE EXISTING SEALANT JOINT BETWEEN BRICK AND CONCRETE STRUCTURE (TYPICAL)
- [C] REMOVE EXISTING SEALANT JOINT BETWEEN EXISTING WINDOW FRAME TO REMAIN AND THE EXISTING BRICK AND CONCRETE STRUCTURE (TYPICAL)
- [D] REMOVE EXISTING LOUVER
- [E] CHIP CONCRETE DOWN TO SOUND MATERIAL, SAND BLAST CONCRETE AND ANY EXPOSED REBAR AS PER THE PROJECT SPECIFICATIONS (TYPICAL)
- [F] REMOVE EXISTING ALUMINUM DOUBLE HUNG WINDOW (TYPICAL)

M19 SOUTH ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"

G19 SOUTH DEMO ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"

B19 EAST DEMO ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"

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Landscape Architecture  
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NJ LICENSE NO. 21403.00200  
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WAYNE, NEW JERSEY**

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SCALE: 1/8" = 1'-0"  
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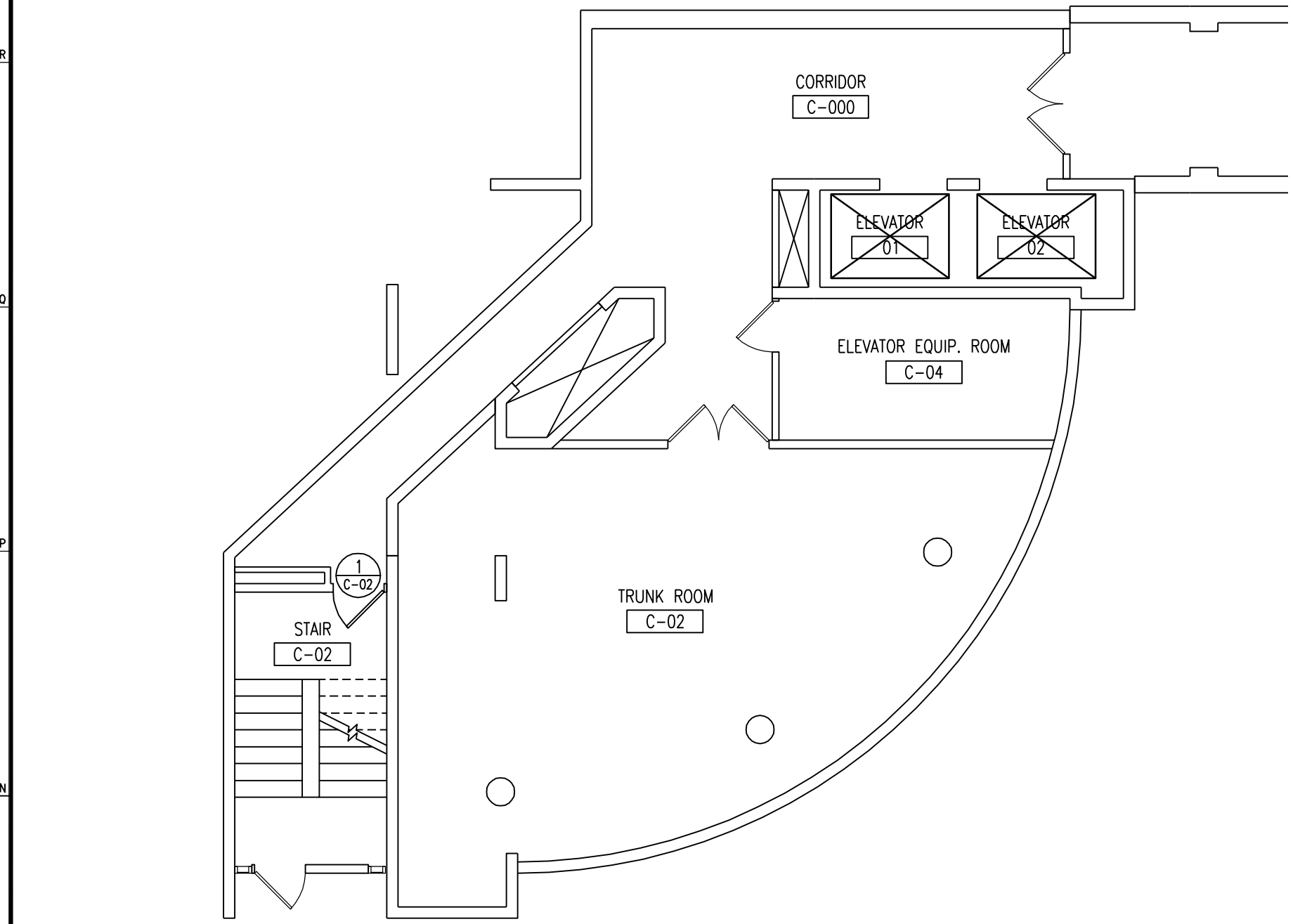
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ELEVATIONS**

DRAWING NO.:

**D-702**

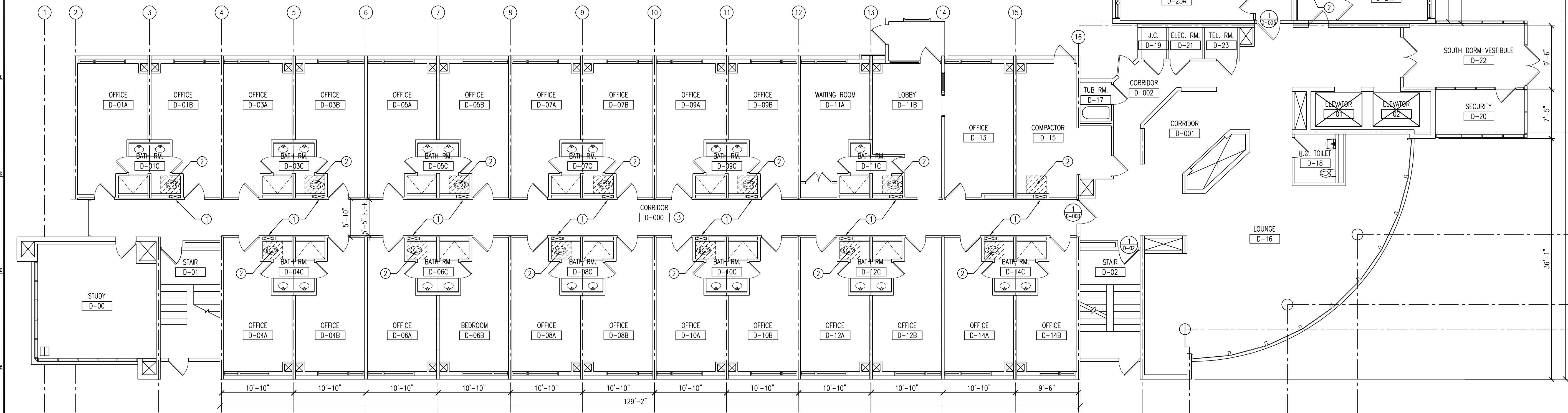
CCH PROJECT NO: 1932



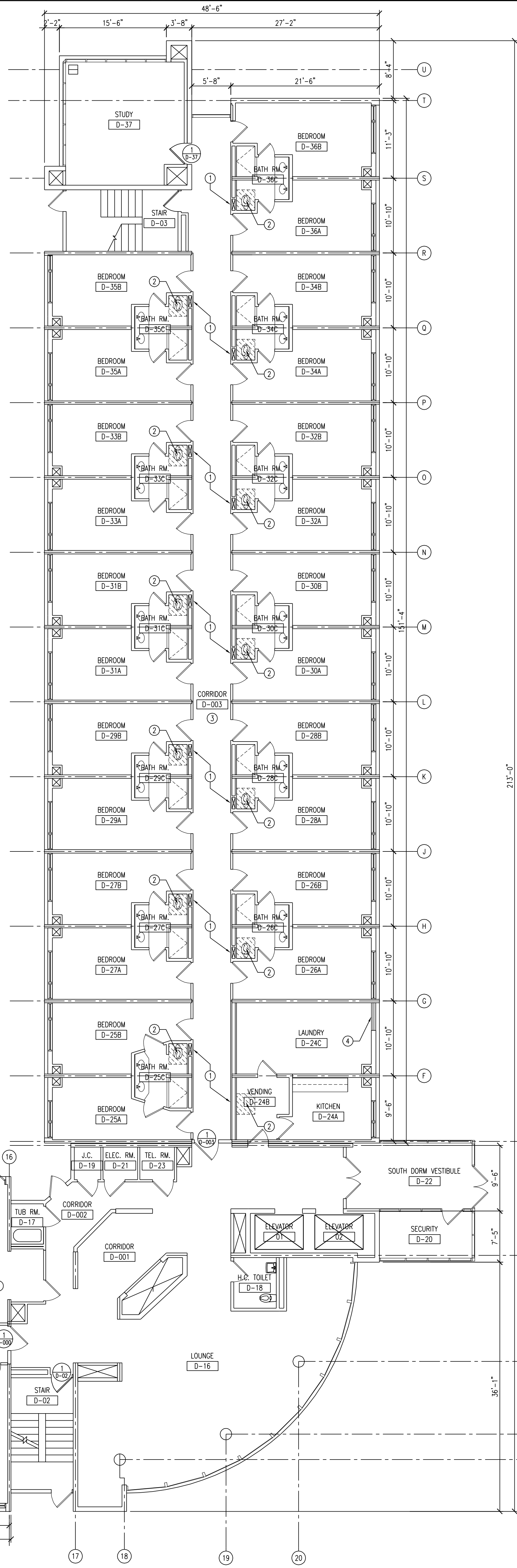


M20 FLOOR PLAN - SOUTH - LEVEL C

SCALE: 1/8" = 1'-0"



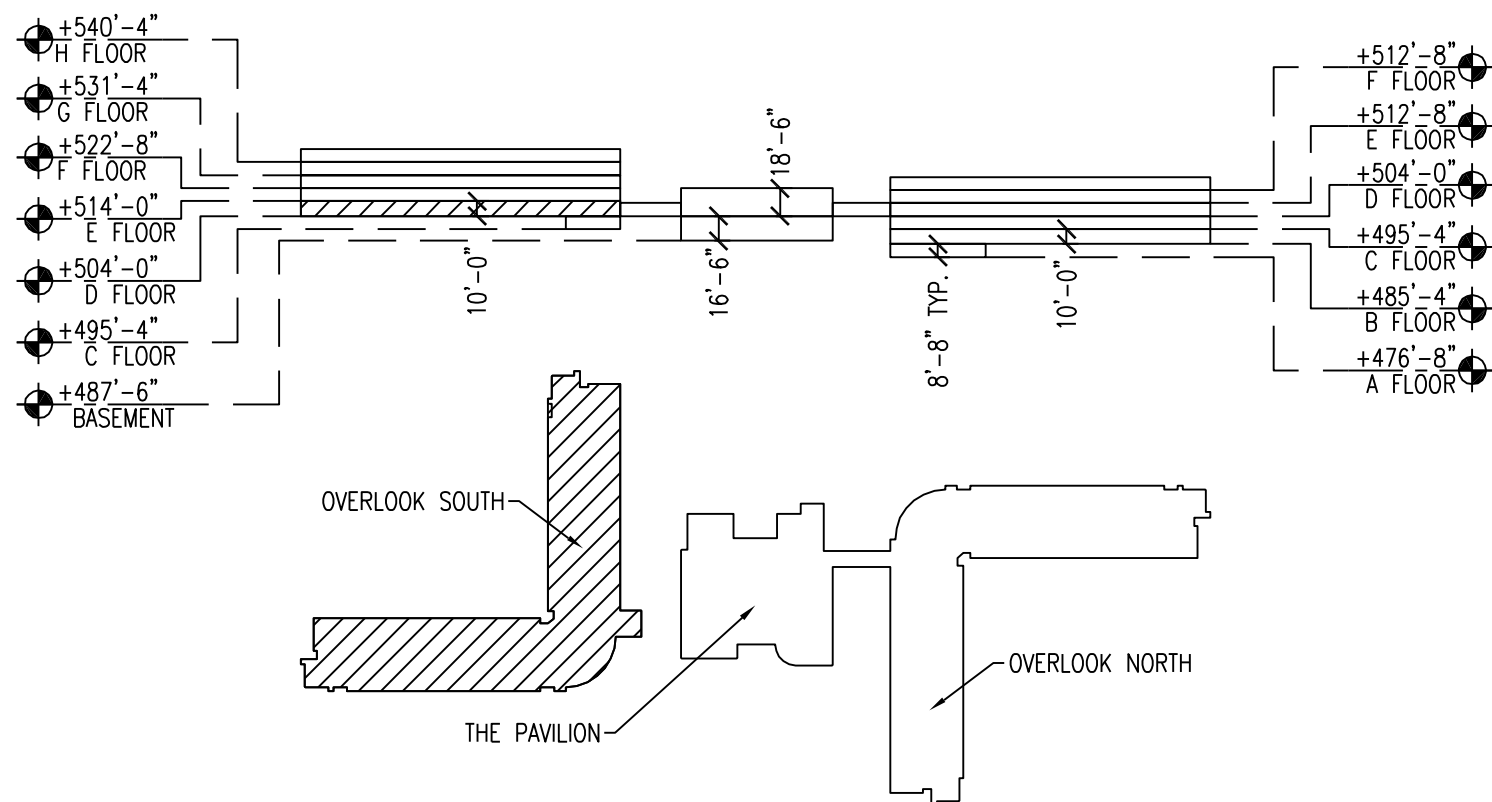
A20 FLOOR PLAN - SOUTH WING - LEVEL D



PLAN KEY NOTES

1. INSTALL (2) LAYERS OF 5/8" GWB ON EXISTING FRAMING. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING FOR PAINT FINISH. ALL OF GWB IS 3'-0" WIDE X 8'-0" HIGH AT EACH LOCATION INDICATED.
2. INSTALL 2'-8" X 3'-0" 5/8" GWB ON EXISTING CEILING FRAMING OVER TOILET. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING AND PAINT. REFER TO SPECIFICATIONS FOR MORE DETAIL.
3. PAINT CORRIDOR WALLS IN THEIR ENTIRETY ONCE THE DEMOLITION AND PATCHING WORK IS COMPLETED.
4. RECONNECT DRYER VENTS TO NEW ALUMINUM LOUVER WITH INTEGRAL EXTERIOR LINT SCREEN.

Q4 PLAN KEY NOTES



A4 KEY PLAN

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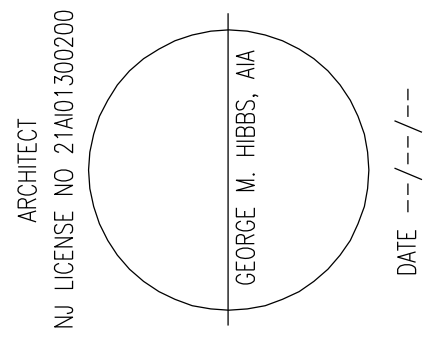
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CHECKED BY: SD

SHEET TITLE:  
LEVEL C & D  
FLOOR PLANS

DRAWING NO.:  
**A-107**  
CCH PROJECT NO: 1932






SCALE: 1/8" = 1'-0"

Q4	PLAN KEY NOTES
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8	DRAWING NO.:
	A-108
	CCH PROJECT NO: 1932

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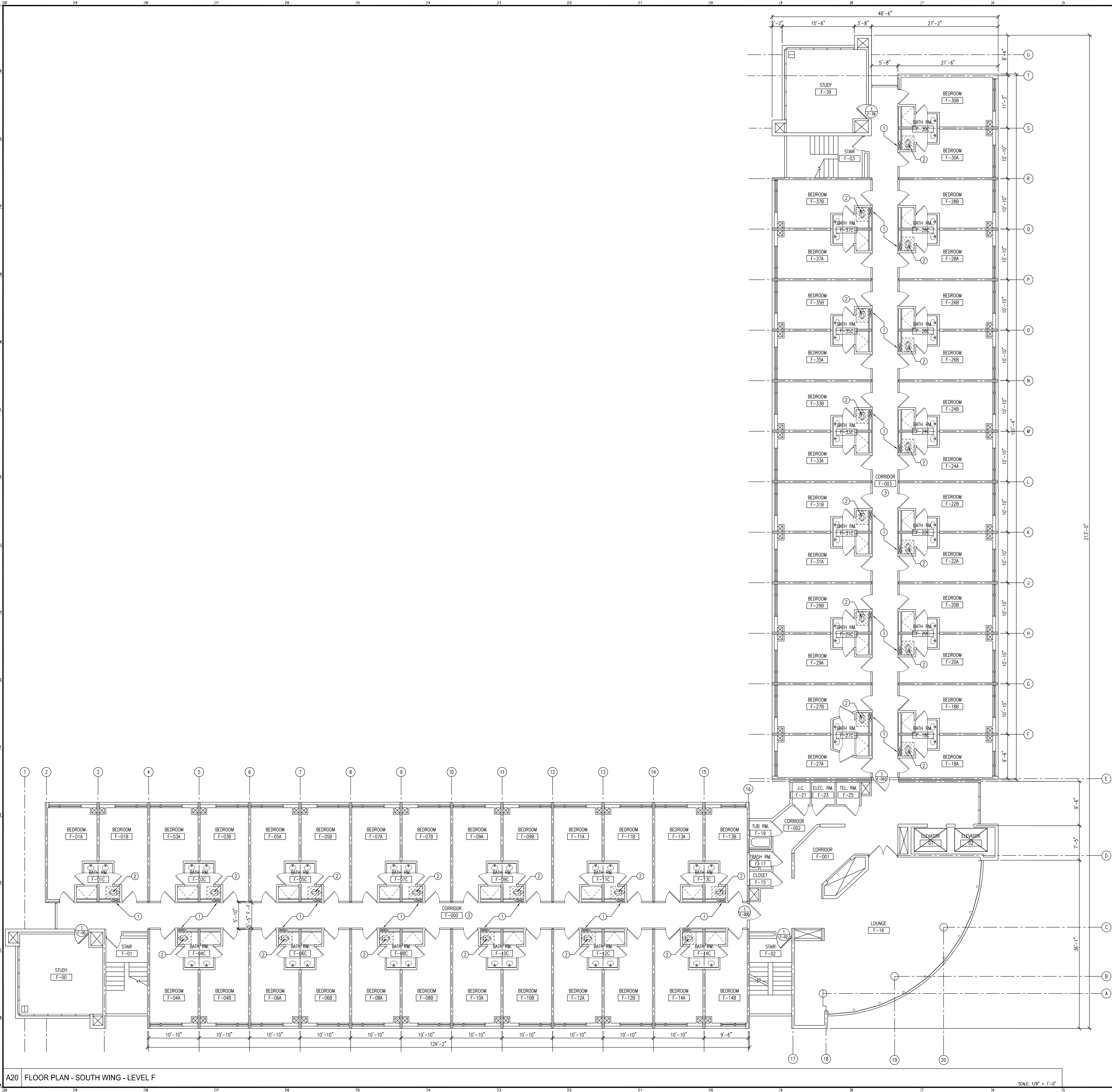
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123160304 155.1321  
shides 11/19/01 1932 William Paterson Dorms DWG3 1-Sheets A-109.dwg



PLAN KEY NOTES

1. INSTALL (2) LAYERS OF 5/8" GWB ON EXISTING FRAMING. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING FOR PAINT FINISH. ALL OF GWB IS 3'-0" WIDE X 8'-0" HIGH AT EACH LOCATION INDICATED.
2. INSTALL 2'-8" X 3'-0" 5/8" GWB ON EXISTING CEILING FRAMING OVER TOILET. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING AND PAINT. REFER TO SPECIFICATIONS FOR MORE DETAIL.
3. PAINT CORRIDOR WALLS IN THEIR ENTIRETY ONCE THE DEMOLITION AND PATCHING WORK IS COMPLETED.
4. RECONNECT DRYER VENTS TO NEW ALUMINUM LOUVER WITH INTEGRAL EXTERIOR LINT SCREEN.

Q4 PLAN KEY NOTES

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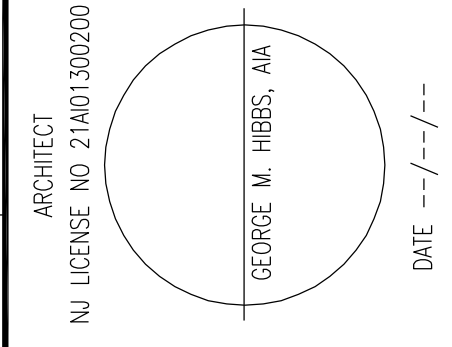
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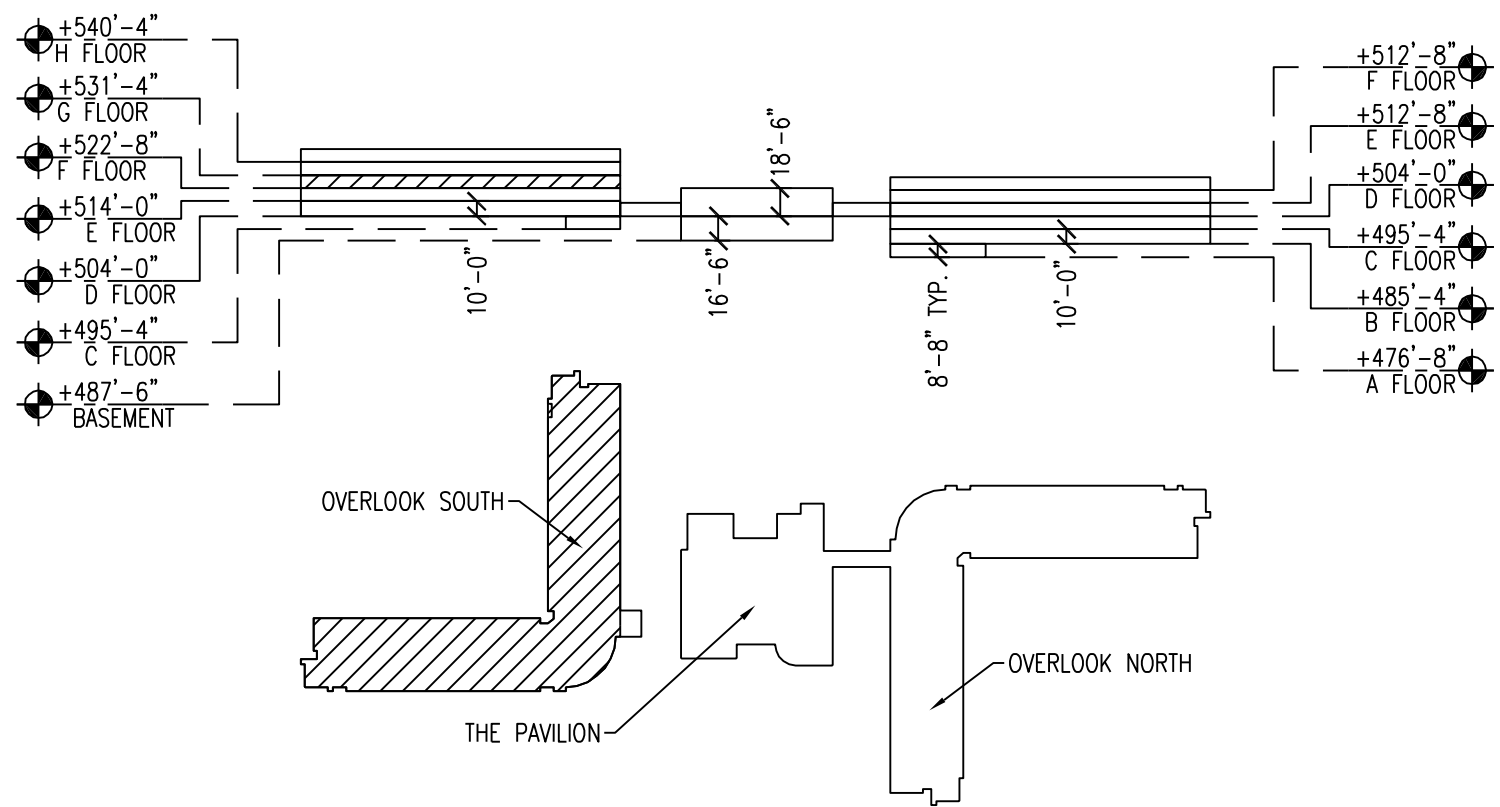
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SCALE: 1/8" = 1'-0"  
DRAWN BY: SH  
CHECKED BY: SD

SHEET TITLE:  
LEVEL F  
FLOOR PLAN

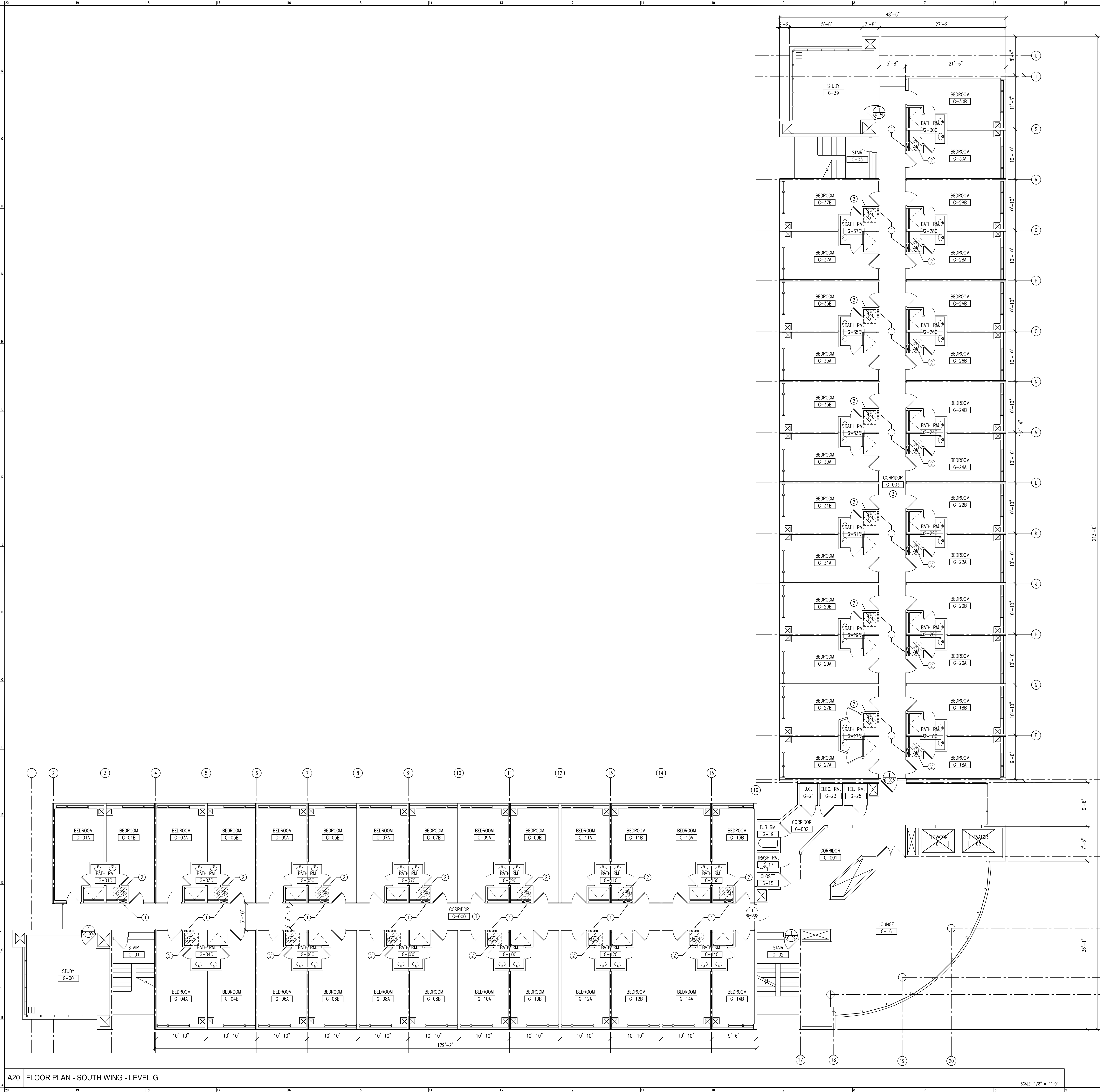
DRAWING NO.:  
**A-109**  
CCH PROJECT NO: 1932

A4 KEY PLAN





12160004 1551321  
shades 14/1900119312\_WilliamPatersonDorms DWG 3/2-Sheets A-110.dwg



PLAN KEY NOTES

1. INSTALL (2) LAYERS OF 5/8" GWB ON EXISTING FRAMING. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING FOR PAINT FINISH. ALL OF GWB IS 3'-0" WIDE X 8'-0" HIGH AT EACH LOCATION INDICATED.
2. INSTALL 2'-8" X 3'-0" 5/8" GWB ON EXISTING CEILING FRAMING OVER TOILET. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING AND PAINT. REFER TO SPECIFICATIONS FOR MORE DETAIL.
3. PAINT CORRIDOR WALLS IN THEIR ENTIRETY ONCE THE DEMOLITION AND PATCHING WORK IS COMPLETED.
4. RECONNECT DRYER VENTS TO NEW ALUMINUM LOUVER WITH INTEGRAL EXTERIOR LINT SCREEN.

Q4 PLAN KEY NOTES

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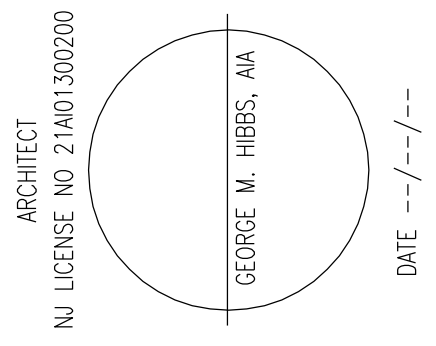
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RENOVATION**  
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DATE: 03/07/16  
SCALE: 1/8" = 1'-0"  
DRAWN BY: SH  
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SHEET TITLE:  
**LEVEL G  
FLOOR PLAN**

DRAWING NO.:

**A-110**

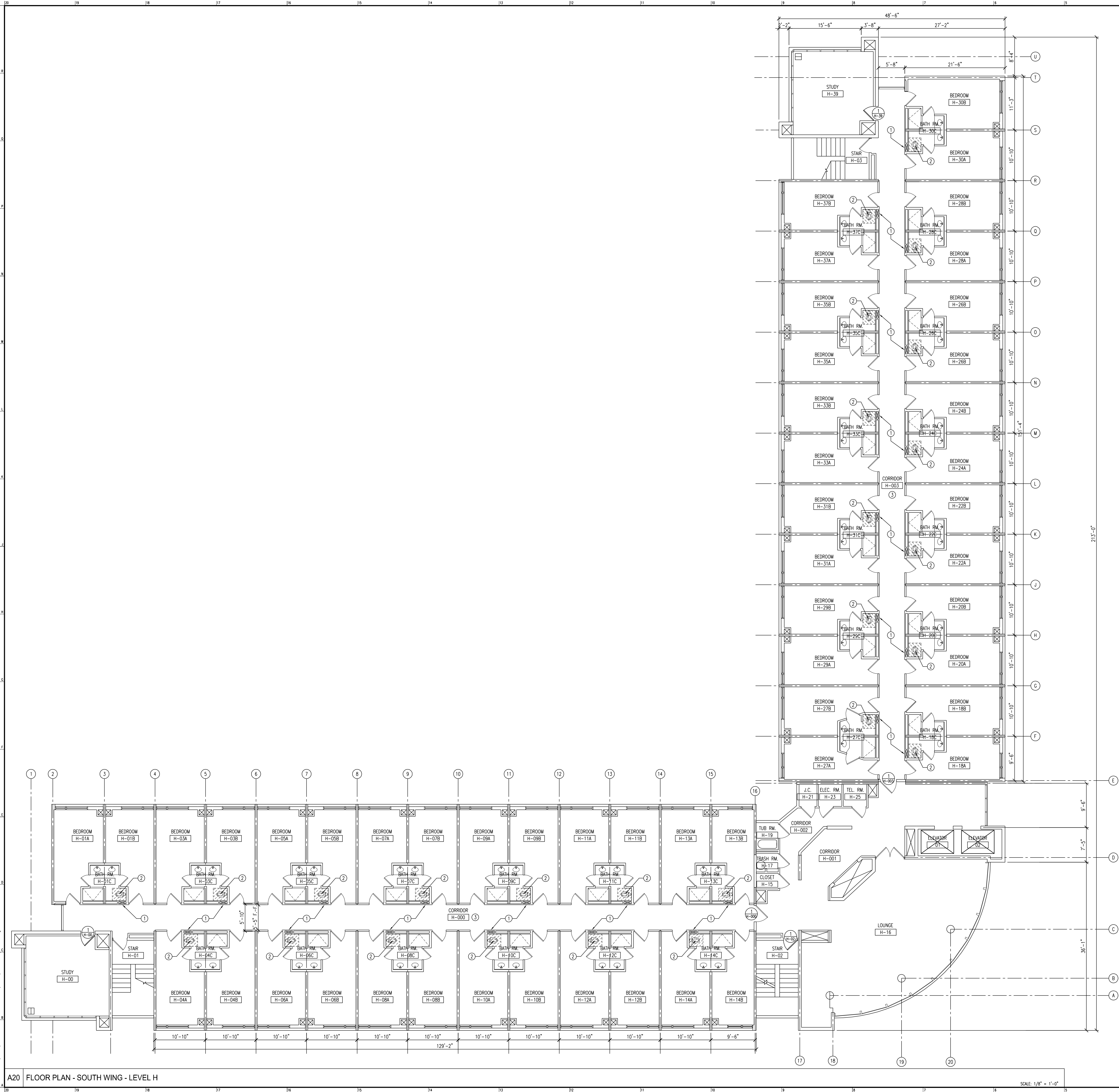
CCH PROJECT NO: 1932

A4 KEY PLAN

A20 FLOOR PLAN - SOUTH WING - LEVEL G

SCALE: 1/8" = 1'-0"

123180204 150321  
shdcs 14/190011932\_WilliamPatersonDorms\DWG\3-Sheets\A-111.dwg



PLAN KEY NOTES

1

INSTALL (2) LAYERS OF 5/8" GWB ON EXISTING FRAMING. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING FOR PAINT FINISH. ALL OF GWB IS 3'-0" WIDE X 8'-0" HIGH AT EACH LOCATION INDICATED.

2

INSTALL 2'-8" X 3'-0" 5/8" GWB ON EXISTING CEILING FRAMING OVER TOILET. PROVIDE JOINT COMPOUND, TAPE, SANDING, PRIMING AND PAINT. REFER TO SPECIFICATIONS FOR MORE DETAIL.

3

PAINT CORRIDOR WALLS IN THEIR ENTIRETY ONCE THE DEMOLITION AND PATCHING WORK IS COMPLETED.

4

RECONNECT DRYER VENTS TO NEW ALUMINUM LOUVER WITH INTEGRAL EXTERIOR LINT SCREEN.

Q4

PLAN KEY NOTES

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ARCHITECT

NJ LICENSE NO. 21A030020

GEORGE W. HIBBS, AIA

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WAYNE, NEW JERSEY

DATE:

02/07/16

SCALE:

1/8" = 1'-0"

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CHECKED BY:

SD

SHEET TITLE:

LEVEL H  
FLOOR PLAN

DRAWING NO.:

A-111

CCH PROJECT NO:

1932

A4

KEY PLAN

SCALE: 1/8" = 1'-0"





SCALE: 1/8" = 1'-0"

- A** PROVIDE NEW BACKER ROD AND SEALANT JOINTS TO EXISTING VERTICAL MOVEMENT JOINTS AND TO HORIZONTAL SHELF ANGLE SUPPORTS TYPICAL
- B** APPLY CONTINUOUS CONCRETE WATERPROOFING TO ALL EXPOSED CONCRETE
- C** HATCH PATTERN INDICATES SCOPE OF CONCRETE PATCHING COMPOUND SEE SPECIFICATIONS FOR MORE DETAIL
- D** CLEAN ALL EXTERIOR EXPOSED BRICK. SEE SPECIFICATIONS FOR MORE DETAIL
- E** INSTALL NEW LOUVER
- F** IN-FILL MASONRY OPENING (MATCH EXISTING)



SCALE: 1/8" = 1'-0"

SCALE: 1/2" = 1'-0"

SCALE: 1/8" = 1'-0"

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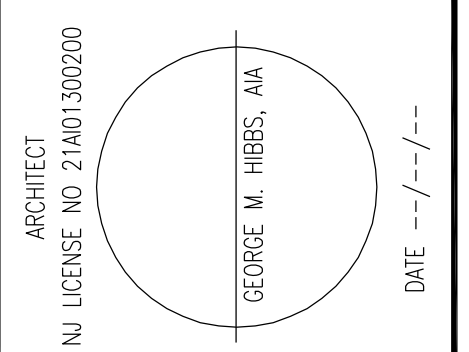
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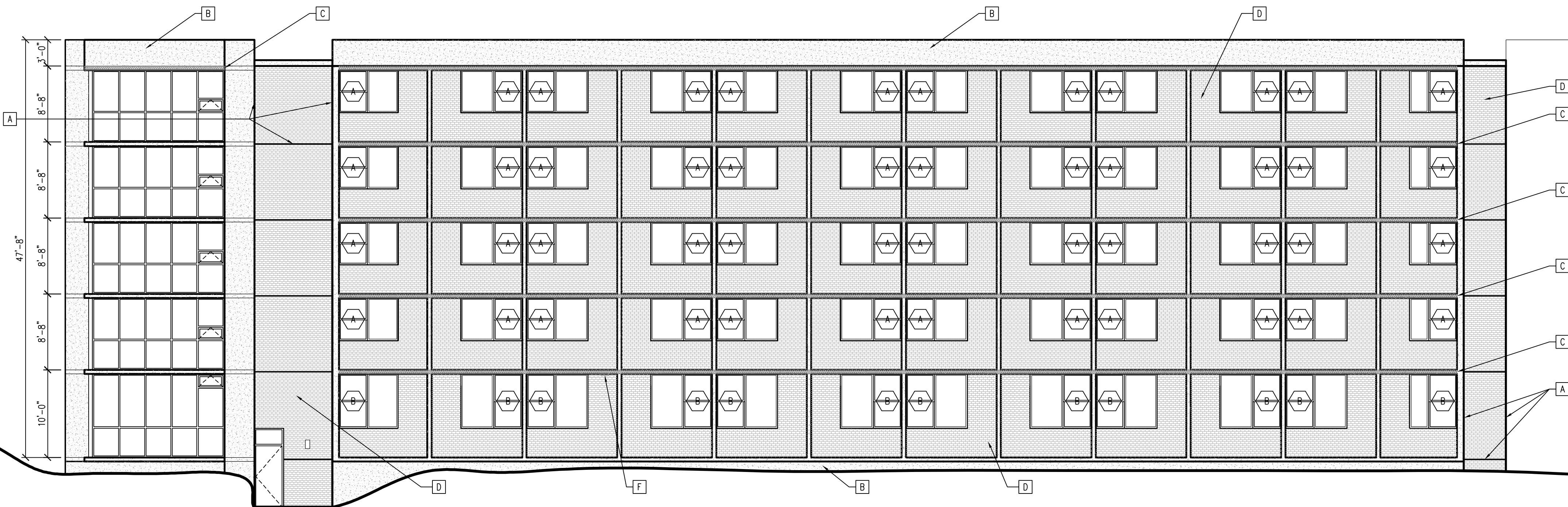
Q20 KEY PLAN

ELEVATION KEY NOTES

- [A] PROVIDE NEW BACKER ROD AND SEALANT JOINTS TO EXISTING VERTICAL MOVEMENT JOINTS AND TO HORIZONTAL SHELF ANGLE SUPPORTS TYPICAL
- [B] APPLY CONTINUOUS CONCRETE WATERPROOFING TO ALL EXPOSED CONCRETE
- [C] HATCH PATTERN INDICATES SCOPE OF CONCRETE PATCHING COMPOUND SEE SPECIFICATIONS FOR MORE DETAIL
- [D] CLEAN ALL EXTERIOR EXPOSED BRICK. SEE SPECIFICATIONS FOR MORE DETAIL
- [E] INSTALL NEW LOUVER
- [F] IN-FILL MASONRY OPENING (MATCH EXISTING)

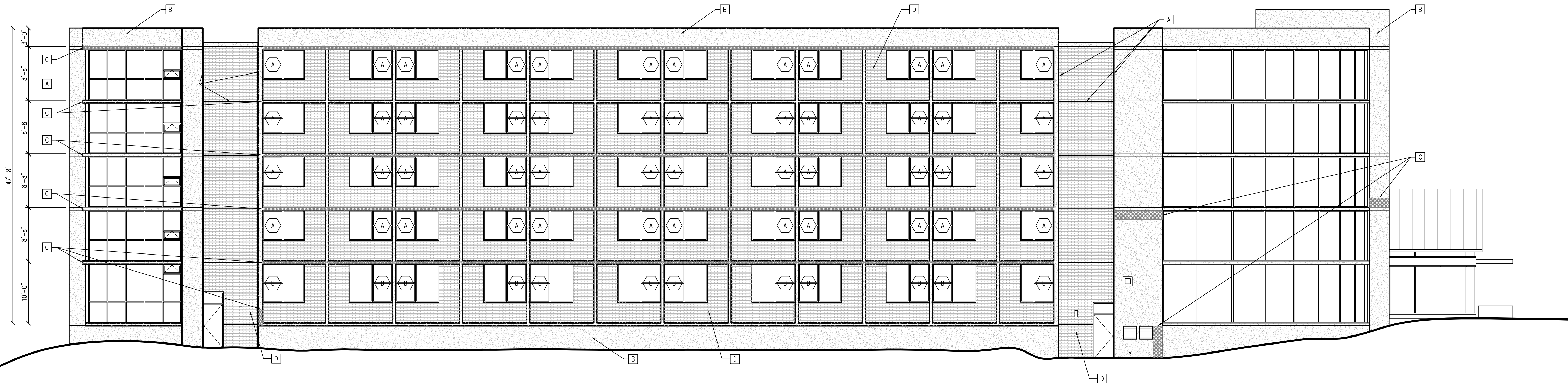
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SCALE: 1/8" = 1'-0"



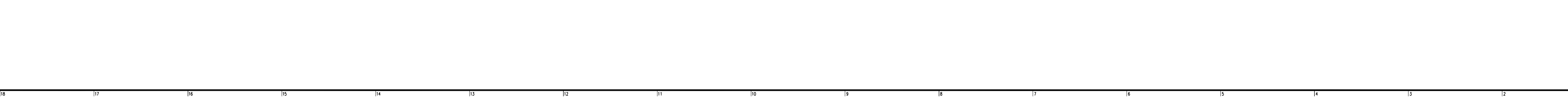
G19 SOUTH ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"



B19 EAST ELEVATION - OVERLOOK SOUTH

SCALE: 1/8" = 1'-0"



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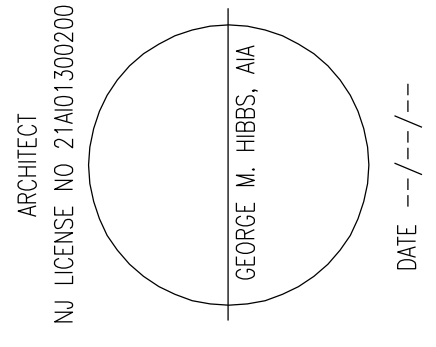
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RENOVATION  
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CHECKED BY: SD

SHEET TITLE:  
ELEVATIONS

DRAWING NO.:  
**A-702**  
CCH PROJECT NO: 1932



DOOR SCHEDULE											
DOOR NO.	DOOR LOCATION	DOOR			FRAME					HARDWARE SET NO.	ASSEMBLY RATING
		SIZE	TYPE	MAT.	GLASS	TYPE	MAT.	HEAD	JAMB	SADDLE	
1/C-02	STAIR	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 1
1/D-02	STAIR	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/D-37	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/D-000	CORRIDOR	3'-6" X 6'-8"	B	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/D-003	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/E-02	STAIR	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 1
1/E-00	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/E-39	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/E-000	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/E-003	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/F-02	STAIR	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 1
1/F-00	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/F-39	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/F-000	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/F-003	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/G-02	STAIR	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 1
1/G-00	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/G-39	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/G-000	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/G-003	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/H-02	STAIR	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 1
1/H-00	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/H-39	STUDY	3'-0" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 4
1/H-000	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2
1/H-003	CORRIDOR	3'-6" X 6'-8"	A	M	TEMP	EXIST	EXIST	EXIST	EXIST	-	TYPE 2

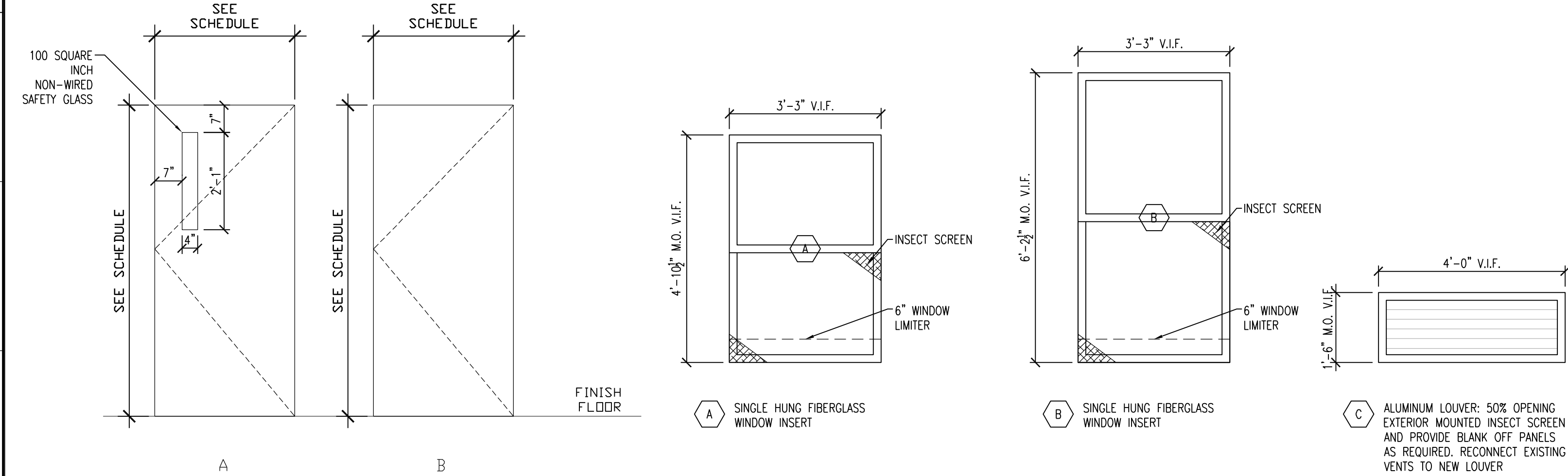
HARDWARE SETS					HARDWARE GROUP TYPE 2				
HARDWARE GROUP TYPE 1					HARDWARE GROUP TYPE 4				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR	QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1	EA CONTINUOUS HINGE	TBD	652	TBD	1	EA MAGNETIC HOLD OPEN	DM S C 1	C	SIMPLEX
1	EA PANIC HARDWARE	99-L-03	626	VON	GENERAL NOTE: EXISTING FRAMES WILL REQUIRE LIMITED PREPPING FOR STRIKES AND PATCHING AT EXISTING STRIKES				
1	EA LEVER	80-159	626	SCH					
1	EA CLOSER	4041XP CUSH	689	LCN					
1	EA KICK PLATE	B400 8" X 2" LDW	630	IVE					
3	EA SILENCER	SR64	GRY	IVE					

GENERAL NOTE:  
EXISTING FRAMES WILL REQUIRE LIMITED PREPPING  
FOR STRIKES AND PATCHING AT EXISTING STRIKES

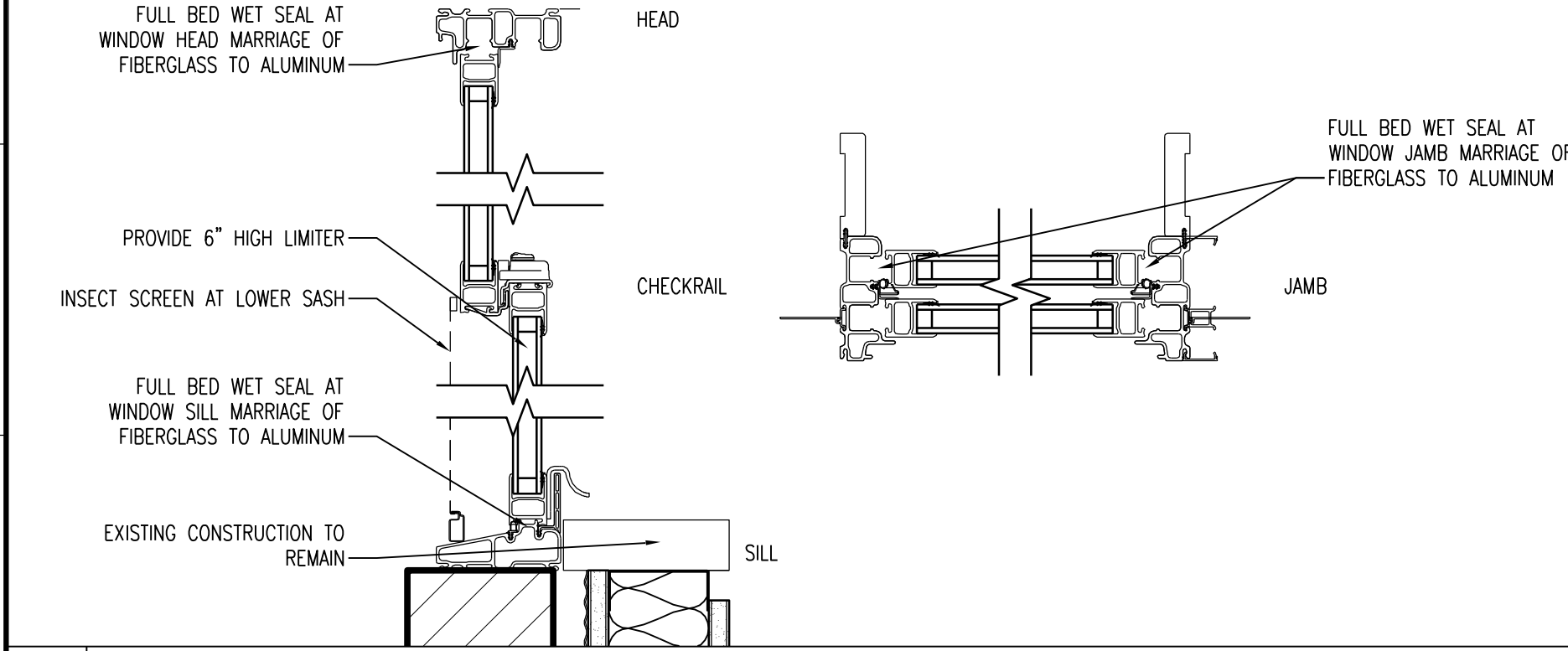
HARDWARE GROUP TYPE 3					HARDWARE GROUP TYPE 4				
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR	QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1	EA CONTINUOUS HINGE	TBD	TBD	TBD	1	EA CONTINUOUS HINGE	TBD	652	TBD
1	EA PANIC HARDWARE	TBD	TBD	VON	1	EA CLASSROOM LOCK	L9070HD 03A	626	SCH
1	EA LEVER	TBD	TBD	VON	1	EA CLOSER	4041XP ST-1630	689	LCN
1	EA CLOSER	TBD	TBD	TBD	1	EA KICK PLATE	B400 8" X 2" LDW	630	IVE
1	EA KICK PLATE	TBD	TBD	TBD	3	EA SILENCER	SR64	GRY	IVE
3	EA SILENCER	TBD	TBD	TBD					

GENERAL NOTE:  
EXISTING FRAMES WILL REQUIRE LIMITED PREPPING  
FOR STRIKES AND PATCHING AT EXISTING STRIKES

L20 DOOR SCHEDULE



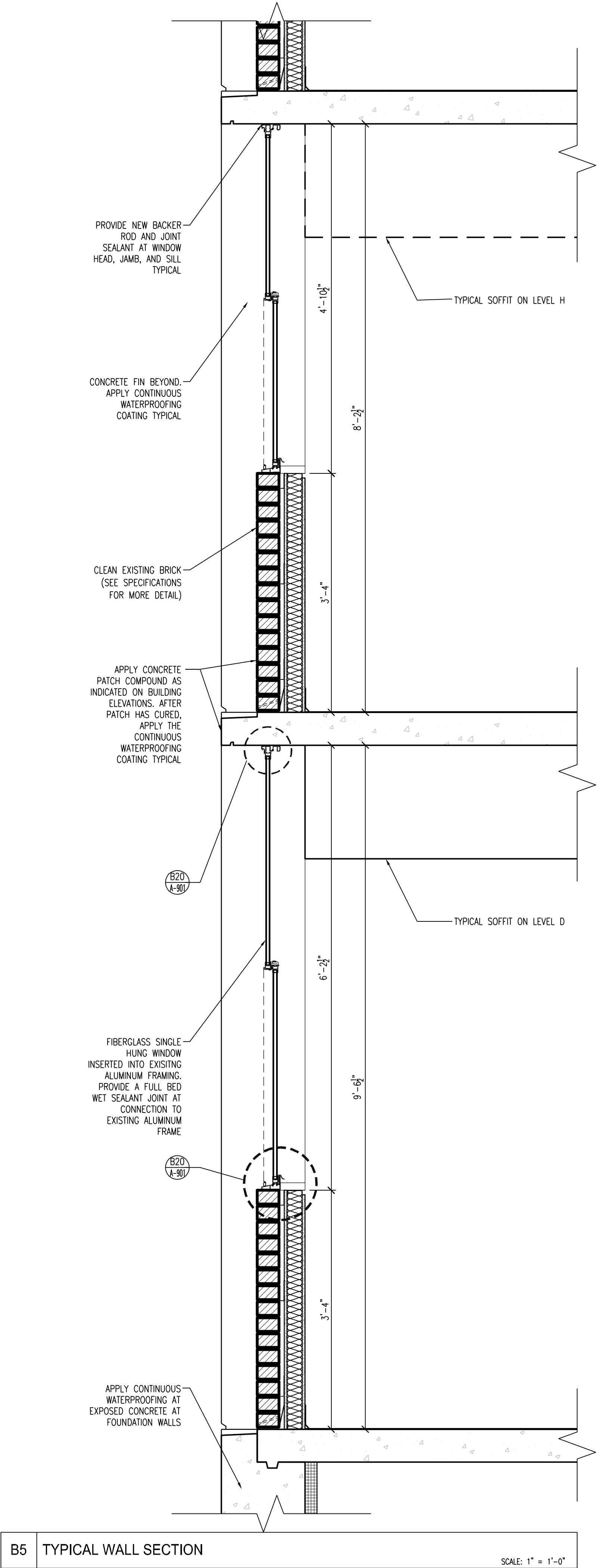
E20 DOOR & WINDOW TYPES



A20 TYPICAL WINDOW DETAILS

ABBREVIATIONS:  
AL = ALUMINUM  
WD = WOOD  
HM = HOLLOW METAL  
VN = VINYL  
M = METAL  
TEMP = TEMPERED GLASS

DOOR CONSTRUCTION:  
AL = ALUMINUM  
HC = HOLLOW CORE  
HM = HOLLOW METAL  
SC = SOLID CORE  
SR = STILE AND RAIL  
VN = VINYL



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**SUBMISSIONS**

NO.	DATE	DESCRIPTION
1	01/21/16	BOR CD SUBMISSION
2	02/18/16	BOR CD SUBMISSION
3	03/07/16	100% CD SUBMISSION FOR BID

**REVISIONS**

NO.	DATE	DESCRIPTION
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**ARCHITECT**  
NJ LICENSE NO. 21407300200  
GEORGE M. HIBBS, AIA  
DATE -- / -- / --

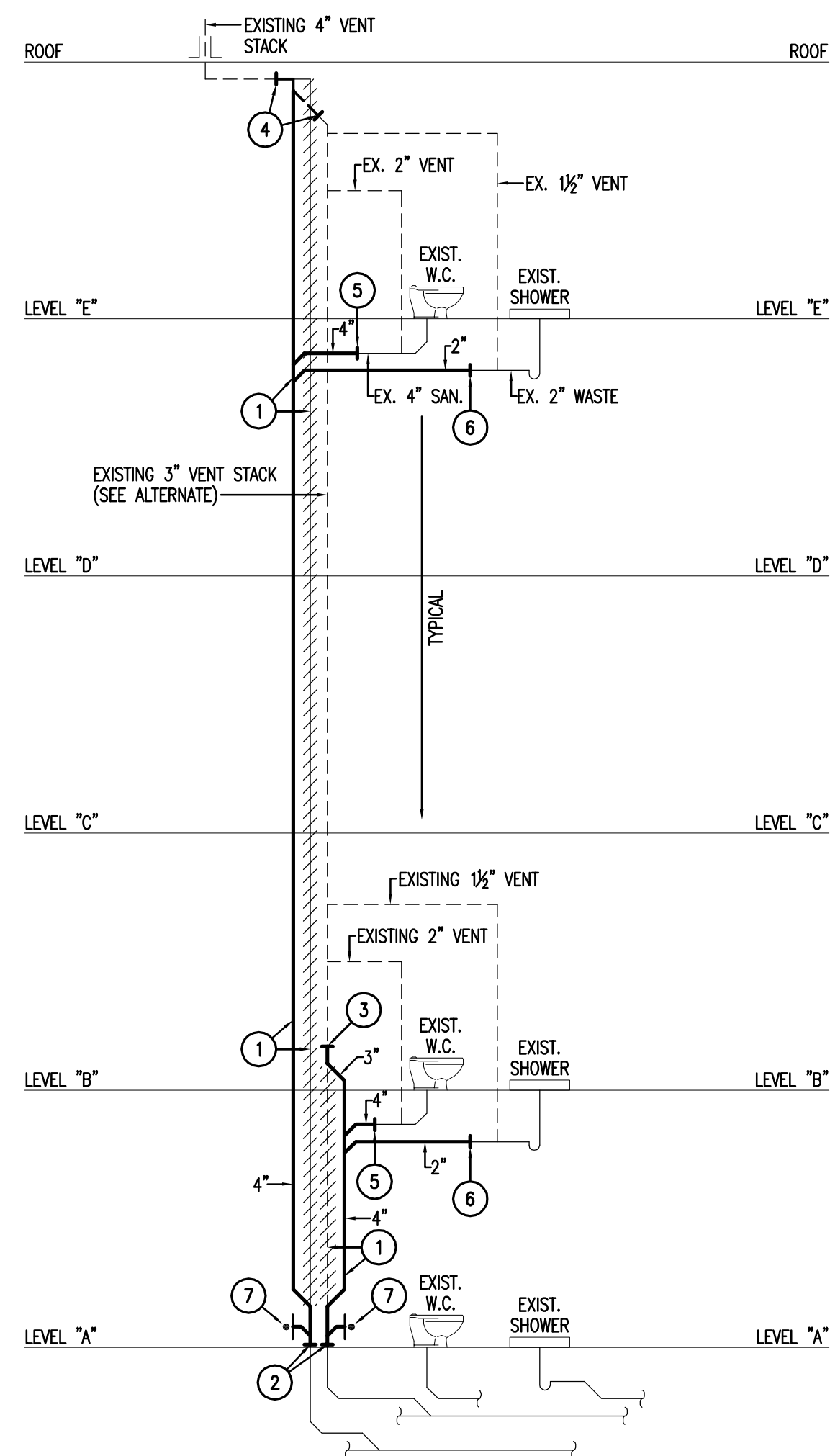
**WILLIAM PATERSON UNIVERSITY  
OVERLOOK SOUTH RENOVATION**  
WAYNE, NEW JERSEY

DATE: 03/07/16  
SCALE: AS INDICATED  
DRAWN BY: SH  
CHECKED BY: SD

SHEET TITLE:  
**DOOR SCHEDULE & WINDOW DTLS**

DRAWING NO.:  
**A-901**  
CCH PROJECT NO: 1932



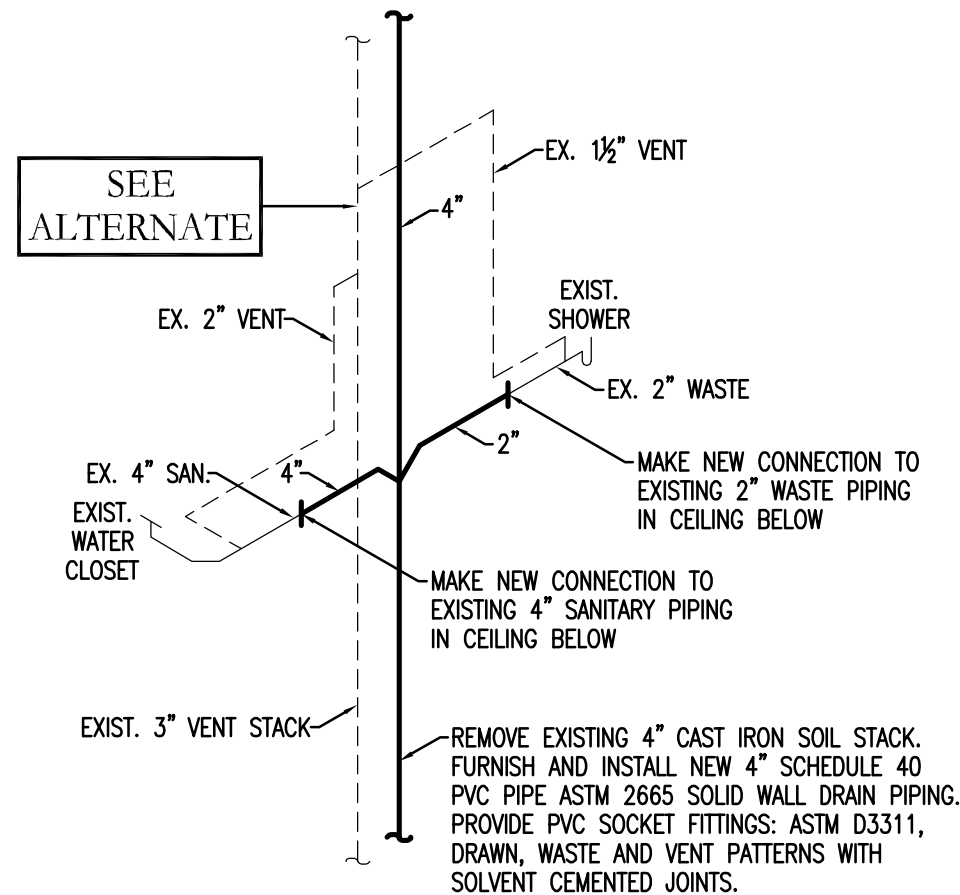


**2 TYPICAL 4" SOIL, 3" VENT STACK**  
NOT TO SCALE

**KEY NOTES**

- EXISTING 4" SOIL STACK TO BE REMOVED. FURNISH AND INSTALL NEW 4" SOIL PVC STACK IN SAME LOCATION.
- MAKE NEW CONNECTION TO EXISTING 4" SOIL STACK.
- MAKE NEW CONNECTION TO EXISTING 3" VENT STACK.
- MAKE NEW CONNECTION TO EXISTING 3" AND 4" VENT STACK.
- MAKE NEW CONNECTION TO EXISTING 4" SANITARY PIPING TO WATER CLOSET.
- MAKE NEW CONNECTION TO EXISTING WASTE PIPING TO SHOWER.
- FURNISH AND INSTALL CLEANOUT AT BASE OF RISER.

**ALTERNATE BID**  
REMOVE EXISTING 3" VENT STACK. FURNISH AND INSTALL NEW 3" SCHEDULE 40 PVC VENT STACK. MAKE NEW CONNECTION TO EXISTING 1 1/2" OR 2" VENT PIPING TO PLUMBING FIXTURES.



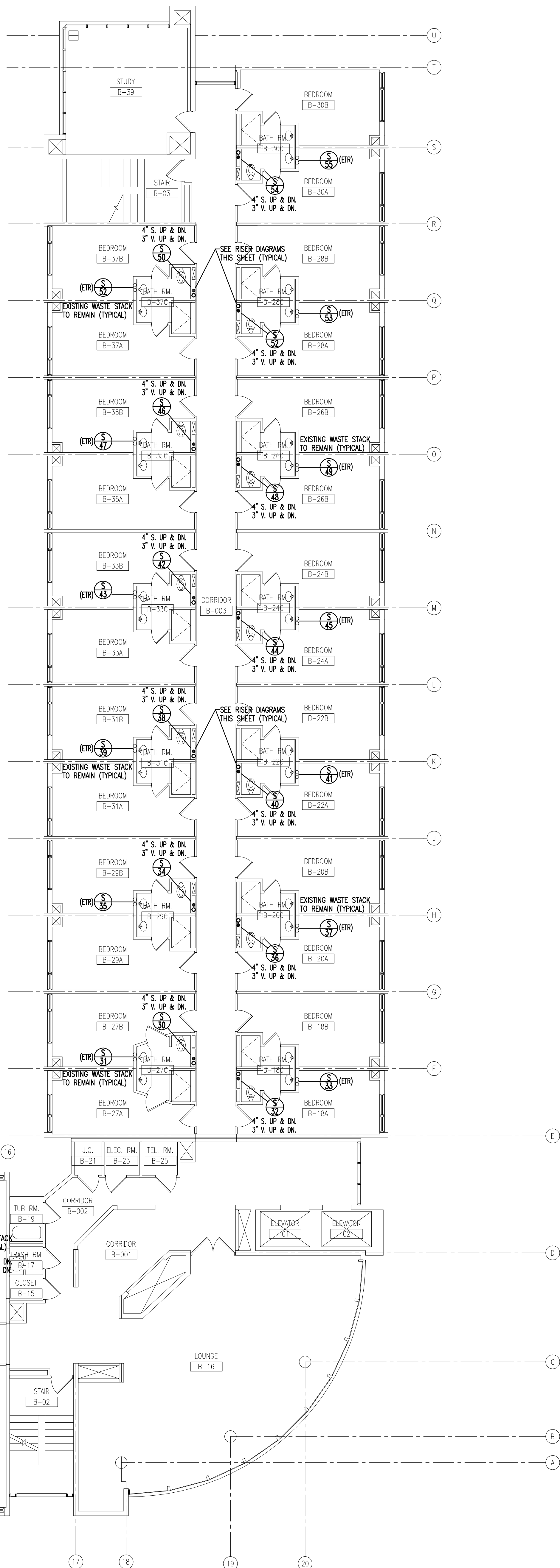
**3 PART RISER SANITARY/VENT STACK**  
NOT TO SCALE

**NOTES**

- COMPLY WITH NSF 14, PLASTICS PIPING SYSTEMS COMPONENTS AND RELATED MATERIALS, FOR PLASTIC PIPING SYSTEMS COMPONENTS. INCLUDE MARKING WITH NSF-DWV, FOR PLASTIC DRAIN, WASTE AND VENT PIPING; NSF-DRAIN FOR PLASTIC DRAIN PIPING; NSF-TUBULAR FOR PLASTIC CONTINUOUS WASTE PIPING AND NSF-SOWER FOR PLASTIC SEWER PIPING.
- TRANSITION AND SPECIAL FITTINGS WITH PRESSURE RATINGS AT LEAST EQUAL TO PIPING PRESSURE RATINGS. SUPPORT VERTICAL PIPING AT BASE AND AT EACH FLOOR. INSTALL SUPPORTS FOR VERTICAL PVC PIPING EVERY 48 INCHES.
- SOLVENT CEMENT FOR JOINING PVC PIPING: ASTM 2564. INCLUDE PRIMER ACCORDING TO ASTM F 656.
- UTILIZE EXISTING SLEEVE FITTING. VERTICAL PIPE SHALL BE MAINTAINED IN STRAIGHT ALIGNMENT WITH SUPPORTS AT EACH STORY HEIGHT. INTERMEDIATE SUPPORTS SHALL BE PROVIDED WHERE REQUIRED FOR STABILITY.
- FURNISH AND INSTALL PIPE BRACKETS AT EACH FLOOR. INSTALL INTERMEDIATE PIPE SUPPORT.
- FURNISH AND INSTALL "3M FIRE PROTECTION PRODUCTS" FIRESTOP SYSTEM, MODEL "CA" 2000 SERIES, INCLUDING STEEL COLLAR, CAULK AND SEALANT. INSTALLED AT ALL FLOOR PENETRATIONS.

**PLUMBING LEGEND**

- EXISTING SANITARY SEWER & WASTE PIPING ABOVE FLOOR
- EXISTING SANITARY SEWER & WASTE PIPING BELOW GRADE
- EXISTING VENT PIPING
- NEW SANITARY SEWER & WASTE PIPING ABOVE GRADE
- NEW VENT PIPING
- DENOTES PORTION OF EXISTING PIPING TO BE REMOVED
- DENOTES EXISTING WASTE STACK TO REMAIN



**1 TYPICAL FLOOR PLAN - PLUMBING**  
SCALE: 1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
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2	02/18/16	REV. CD SUBMISSION
3	03/01/16	100% CD SUBMISSION FOR BID

**ARCHITECT**  
NJ LICENSE NO. 2140130200  
GEORGE M. HIBBS, AIA  
DATE: --/--/--

**WILLIAM PATERSON  
UNIVERSITY  
OVERLOOK SOUTH  
RENOVATION  
WAYNE, NEW JERSEY**

DATE:  
SCALE:  
DRAWN BY:  
CHECKED BY:

SHEET TITLE:  
**PLUMBING  
FLOOR PLAN AND  
RISER DIAGRAMS**

DRAWING NO.:  
**P-001**

CCH PROJECT NO: 1932

**Project Manager**  
CM

**Designed By**  
RDG

**Drafted By**  
JJC



**Checked By**  
RDG

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NJ Professional Engineer 24GE03891800





PLAN SYMBOL	GENERAL SYMBOL LIST	
	DEVICES	
	ADDRESSABLE CONTROL MODULE	
	DOOR HOLDER - 24VDC/VAC, SURFACE MOUNTED, CHROME HIGH LUSTER PLATED SINGLE DOOR DEVICE	

4. FURNISH AND INSTALL NEW FIRE ALARM SYSTEM DROD HOLD DEVICES, INCLUDE THE COST OF INSTALLATION SUPERVISION, FINAL WIRING TERMINATIONS AT CONTROL PANELS AND PROGRAMMING OF THE SYSTEM BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE EQUIPMENT FOR DROD HOLD AND ASSOCIATED CONTROL DEVICES SHALL BE POWERED THROUGH THE NEW FIRE ALARM CONTROL PANEL, POWER SUPPLIES.
5. IN GENERAL, ALL REQUIRED FIRE ALARM SYSTEM WIRING IS NOT SHOWN ON THE PLAN DRAWINGS. ALL NEW WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND THE REQUIREMENTS OF THESE CIRCUITS AND WIRING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH FIELD CONDITIONS, FIRE ALARM DIAGRAM, AND CODES.
6. LOCATIONS OF FIRE ALARM DEVICES AND EQUIPMENT SHOWN ON THE PLAN DRAWINGS IS DIAGNOSTIC EXACT LOCATION SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH FIELD CONDITIONS AND THE FOLLOWING:
  - 3.1. WALL MOUNTED DEVICES SHALL BE COORDINATED WITH ALL OTHER WALL MOUNTED DEVICES. WALL CONNECTIONS, ETC., AND NFPA AND NEC REQUIREMENTS.
  4. A 100% TOTAL ACCEPTANCE TEST SHALL BE PERFORMED AT THE COMPLETION OF THE NEW FIRE ALARM SYSTEM INSTALLATION ASSOCIATED WITH THE FOLLOWING LOCATIONS ACCORDING R/2015.
    1. TO ENSURE COMPATIBILITY WITH THE EXISTING SYSTEM AND PROVIDE A SINGLE SOURCE FOR SUPPLY OF PARTS AND MAINTENANCE, PROVIDE PRODUCTS OF THE SAME MANUFACTURERS AS THE EXISTING SYSTEM OR AN EQUIVALENT INSTITUTION.
    2. ALL WORK SHALL COMPLY WITH THE APPLICABLE BUILDING CODE, LOCAL ORDINANCE AND REGULATION, THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND NFPA 70 AND NFPA 72.
  5. MAKE THE NECESSARY ARRANGEMENTS WITH THE OWNER'S SERVICE AUTHORITY TO SUPERVISE THE NEW FIRE ALARM WORK AND MAKE WIRING CONNECTIONS AND INCLUDE THE OWNER'S SERVICE CHARGES FOR THIS WORK IN HIS PROPOSAL.
  6. TEST THE EXISTING SYSTEM IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING ANY WORK IN THE BUILDING. NOTIFY A FIRE DRILL WITH ALARM RESPONSES STATION DISCONNECT AND OBSERVE THE RESPONSE OF ALL INDICATING AND ANNUNCIATING DEVICES.
  7. CHECK THE INTEGRITY OF EXISTING CIRCUITS BEFORE CONNECTING TO THEM. RECORD THE RESULTS AND SUBMIT TO THE OWNER. DO NOT MAKE ANY CONNECTION TO THE EXISTING SYSTEM UNTIL ITS OPERATING CONDITION HAS BEEN CONFIRMED.
  8. MAINTAIN THE EXISTING SYSTEM OPERATIONAL DURING THE WORK.
  9. AFTER THE NEW WORK IS COMPLETE, TEST ALL NEW DEVICES TO ENSURE PROPER OPERATION OF THE EXISTING FIRE ALARM SYSTEM. TEST THE EXISTING CIRCUITS TO WHICH THE NEW DEVICES ARE CONNECTED. TEST ALL OF THE EXISTING DEVICES TO WHICH THE NEW DEVICES ARE CONNECTED. TEST THE EXISTING SYSTEM TO BE RANDOMLY TEST AT LEAST TEN PERCENT OF THE INMATING DEVICES THAT ARE NOT DIRECTLY AFFECTED BY THE NEW WORK.
10. CONTRACTOR SHALL FURNISH AND INSTALL ALL MODULAS, RELAYS, 70 CARS, U/V TRANSFORMERS, POWER SUPPLIES, WIRING, DEVICES, HARMONIC, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION.

[illegible]

ARCHITECT  
NJ LICENSE NO 21A01300200  
GEORGE M. HIBBS, AIA  
DATE ---/---/---

WILLIAM PATERSON  
UNIVERSITY  
OVERLOOK SOUTH  
RENOVATION  
WAYNE, NEW JERSEY

DATE:
SCALE:
DRAWN BY:
CHECKED BY:

SHEET TITLE:  
ELECTRICAL  
FLOOR PLANS  
AND NOTES

DRAWING NO.:

E-001

CCH PROJECT NO: 1932

Project Manager CM	 <p><b>PARTNER</b> Engineering and Science, Inc. (a Diva of Partner Assessment Corp., a NJ Engineering firm) 611 Industrial Way West      Tel: 732.380.1700 Eatontown, NJ 07724      Fax: 732.380.1701 Certificate of Authorization No. 24GC2822900 <a href="http://WWW.PARTNERESI.COM">WWW.PARTNERESI.COM</a></p>
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Checked By JDD	
John C. Morris III Clare M. Broderick	