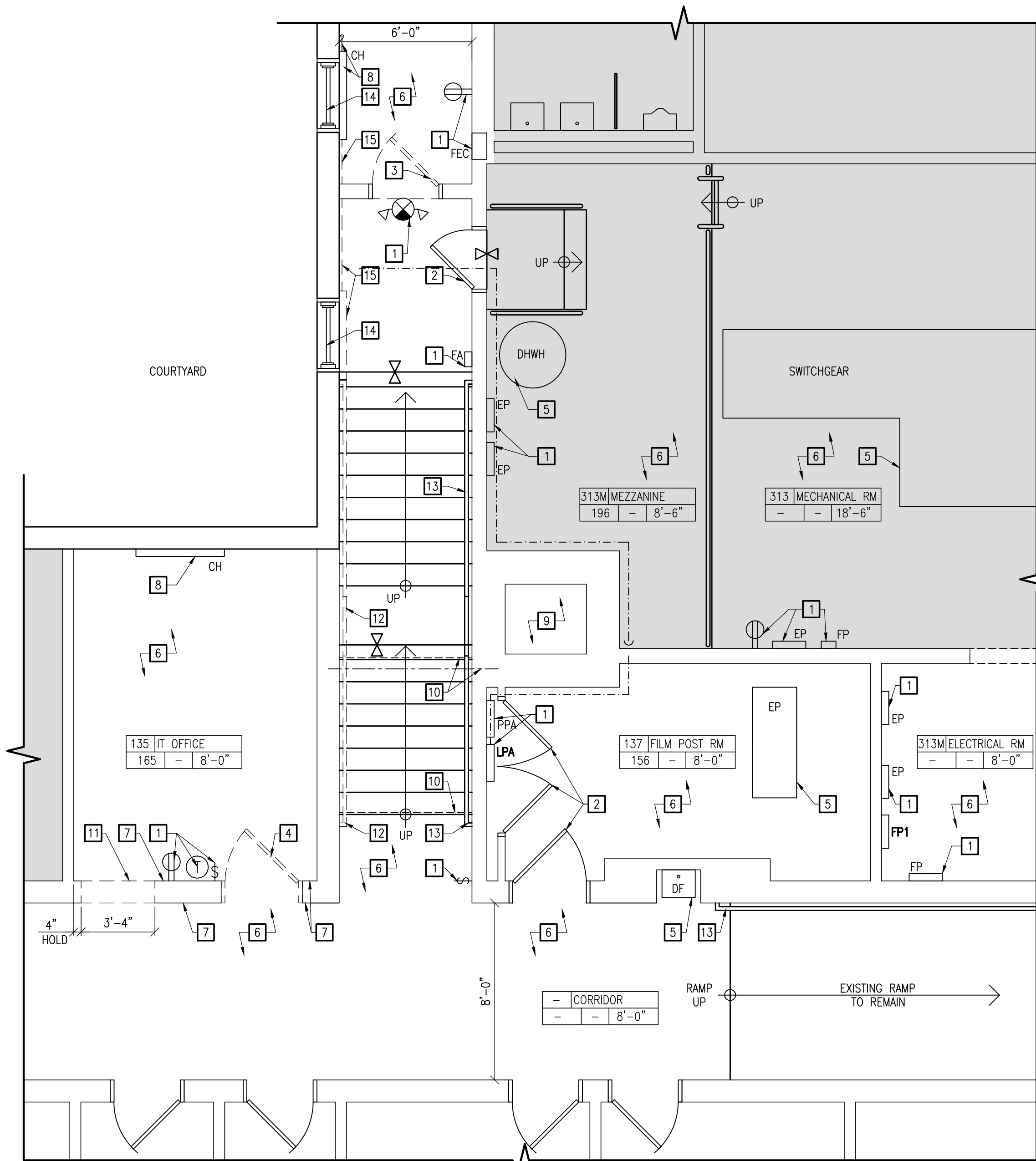


PROJECT GENERAL NOTES		SYMBOLS		MAIN TITLE		PROJECT DESCRIPTION	
<p>DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS ARE PROVIDED TO INDICATE DESIGN INTENT ONLY. LARGE-SCALE DETAILS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.</p> <p>THE WORK IN THIS SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS AND ALL COORDINATION ASSOCIATED WITH SUCH ALONG THE EXECUTED CONTRACT SHALL BE THE RESPONSIBILITY OF THE BIDDER. THE BIDDER WILL BE REFERRED TO THROUGHOUT THESE DRAWINGS AND DOCUMENTS AS BIDDER, GENERAL CONTRACTOR (G.C.), OR CONTRACTOR, AND SHALL:</p> <p>1). COORDINATE THE WORK OF ALL TRADES AND THE OWNER'S REQUIREMENTS FOR ALL WORK INDICATED IN THESE CONTRACT DOCUMENTS AND ASSUME FINAL RESPONSIBILITY FOR ALL CONSTRUCTION COORDINATION.</p> <p>2). VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC. AT THE SITE. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO CONSTRUCTION. ANY SURFACES REQUIRING REPAIR FOR PROPER INSTALLATION OF NEW FINISHES MUST BE INCLUDED IN THE BASE BID. CONTRACTOR SHALL ALSO COORDINATE WORK WITH THE WORK OF OTHER TRADES.</p> <p>3). SUBMISSION OF BID ACKNOWLEDGES THAT THE BIDDER HAS VISITED THE SITE AND IS SUFFICIENTLY FAMILIAR WITH ALL PERTINENT CONDITIONS FOR A RESPONSIVE AND MEANINGFUL BID.</p> <p>4). BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED FOR COMPLETION OF THE PROJECT. REMOVE ALL DEMOLISHED MATERIALS, NOT DESIGNED FOR REUSE, FROM THE PREMISES. EXISTING CONDITIONS DISTURBED BY PERFORMANCE OF THE WORK SHALL BE PATCHED, REPAIRED, OR REPLACED TO MATCH EXISTING CONDITIONS. REMOVE ALL DEBRIS FROM THE SITE & LEAVE THE PREMISES CLEAN, NEAT AND ORDERLY EACH WORKDAY AND AT THE COMPLETION OF THE PROJECT.</p> <p>5). PERFORM ALL WORK SHOWN ON THESE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>6). OBTAIN ALL PERMITS, INSPECTIONS AND CERTIFICATES NECESSARY FOR OCCUPANCY. TEMPORARY CERTIFICATE OF OCCUPANCY (T.C.O.) OR C. OF O. IS A PREREQUISITE FOR THE PUNCHLIST TO COMMENCE.</p> <p>7). ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES, LAWS, RULES, AND REGULATIONS OF ALL CONSTITUTED AUTHORITIES HAVING JURISDICTION.</p> <p>8). PREPARE COORDINATION DRAWINGS OF ALL TRADES PRIOR TO ORDERING ANY AND/OR ALL MATERIALS INCLUDING LONG LEAD TIME ITEMS.</p> <p>9). VERIFY ALL NEW MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND CODE REQUIREMENTS.</p> <p>10). BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS PRIOR TO ORDERING ANY MATERIALS OR PROCEEDING WITH THE WORK AS DRAWINGS MAY NOT REPRESENT ALL EXISTING SITE CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONS AND OBTAIN REQUIRED CLARIFICATION PRIOR TO PROCEEDING WITH WORK.</p> <p>11). KNOW THAT NO CHANGE ORDERS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR & APPROVED BY THE OWNER IN ADVANCE.</p> <p>12). SUBMIT SHOP DRAWINGS OF ALL ITEMS, MATERIAL SAMPLES AND EQUIPMENT CUT-SHEET. SHOP DRAWINGS SHALL INCLUDE DETAILED FABRICATION AND ERECTION DRAWINGS, SETTING DRAWINGS, DIAGRAMMATIC DRAWINGS AND MATERIAL. ALL ITEMS SHALL BE CLEARLY INDICATED. FABRICATION SHALL BEGIN ONLY AFTER RECEIVING APPROVED SHOP DRAWINGS.</p> <p>13). COORDINATE ON-SITE LOCATION & USAGE OF ALL DUMPSTERS AND STORAGE TRAILERS / CONTAINERS WITH UNIVERSITY/ OWNER REPRESENTATIVE PRIOR TO DELIVERY. KEEP DUMPSTERS A MINIMUM OF 15'-0" FROM EXTERIOR FACE OF BUILDING.</p> <p>14). COORDINATE SCHEDULE OF INSTALLATION WITH UNIVERSITY/ OWNER REPRESENTATIVE PRIOR TO PROJECT COMMENCEMENT.</p> <p>15). KNOW THAT ALL CONSTRUCTION WILL TAKE PLACE DURING THE WINTER RECESS. COORDINATE EXACT TIME SCHEDULE WITH UNIVERSITY/ OWNER REPRESENTATIVE. THE BUILDING WILL BE KEPT CLEAN EACH NIGHT & BUILDING AVAILABLE FOR OCCUPANCY EACH DAY.</p> <p>16). BE RESPONSIBLE FOR MAINTAINING SAFETY OF THE WORK SITE THROUGHOUT THE PROJECT TO FINAL COMPLETION. COORDINATE & COOPERATE WITH THE UNIVERSITY/ OWNER REPRESENTATIVE ON ALL SECURITY PROCEDURES.</p> <p>17). PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNITURE, MATERIALS, EQUIPMENT, AND FIXTURES WHICH ARE LIKELY TO BE DAMAGED DURING CONSTRUCTION. TEMPORARY PARTITIONS TO SEPARATE WORK AREAS FROM OCCUPIED AREAS SHALL BE PROVIDED TO PREVENT THE SPREAD OF DUST, MOISTURE, AND OTHER CONSTRUCTION DEBRIS.</p> <p>18). PERFORM ALL WORK SHOWN ON THESE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>19). BE RESPONSIBLE FOR COORDINATING WITH THE OWNER, PRIOR TO MOBILIZATION, THE FINAL SIZE AND LOCATION(S) OF STAGING AREA(S) AND FOR PROVIDING TEMPORARY FENCING AROUND STAGING AREA(S). STAGING AREA(S) SHALL ACCOMMODATE DUMPSTER AS CONTRACTOR DEEMS NECESSARY. FENCE SHALL BE LOCKABLE. DO NOT BLOCK OR CONCEAL IN ANY WAY EXISTING UTILITY POLES, FIRE HYDRANT(S), OR EGRESS PATHS FROM UNIVERSITY BUILDINGS.</p>		<div><div><div><div><div>X</div><div>X-XX</div></div><div></div><div>DETAIL MARKER</div></div><div><div><div>X</div><div>X-XX</div></div><div></div><div>Detail Number</div></div><div><div><div>X</div><div>X-XX</div></div><div></div><div>Sheet Number</div></div></div><div><div><div><div>X</div><div>X-XX</div></div><div></div><div>SINGLE ELEVATION MARKER</div></div><div><div><div>X</div><div>X-XX</div></div><div></div><div>Elevation Number</div></div><div><div><div>X</div><div>X-XX</div></div><div></div><div>Sheet Number</div></div></div><div><div><div><div>X</div><div>X-XX</div></div><div></div><div>SECTION MARKER</div></div><div><div><div>X</div><div>X-XX</div></div><div></div><div>Section Number</div></div><div><div><div>X</div><div>X-XX</div></div><div></div><div>Sheet Number</div></div></div><div><div><div><div>RM</div><div>ROOM</div></div><div>SF</div><div>OCC</div><div>CLG</div></div><div></div><div>ROOM TAG</div></div><div><div><div>Room Number</div><div>Room Name</div><div>Ceiling Height</div><div>Room Occupancy</div><div>Room Area</div></div><div></div></div></div> <div><div><div><div></div><div></div></div><div></div><div>FINISH TAG</div></div><div><div><div></div><div></div></div><div></div><div>Base Finish</div></div><div><div><div></div><div></div></div><div></div><div>Wall Finish</div></div><div><div><div></div><div></div></div><div></div><div>Floor Finish</div></div></div> <div><div><div>X</div></div><div></div><div>REVISION MARKER</div></div> <div><div><div>X</div></div><div></div><div>DRAWING NOTE</div></div>	<div><h1>PROPOSED IMPROVEMENTS FOR FOR WILLIAM PATERSON UNIVERSITY:</h1><h1>ADA ACCESSIBILITY IMPROVEMENTS AT HOBART HALL</h1><h2>300 POMPTON ROAD WAYNE, NEW JERSEY 07470 BLOCK: 2904 LOT: 15</h2></div>		<p>THE SCOPE OF PROJECT CONSISTS OF THE DEMOLITION AND CONSTRUCTION OF INTERIOR ELEMENTS, AS REQUIRED, IN PREPARATION FOR THE NEW CHAIR LIFT INSTALLATION. SPECIFICALLY THE FOLLOWING:</p> <ol style="list-style-type: none">1. THE REMOVAL OF THE DOOR AT THE 2ND FLOOR CORRIDOR.2. REMOVAL OF THE ELECTRICAL HEATING UNIT AT THE 2ND FLOOR WINDOW.3. RELOCATING THE DOOR AT THE 1ST FLOOR IT STORAGE (ROOM 135)4. INSTALLING A NEW ACCESSIBILITY CHAIR LIFT5. PAINTING OF RELEVANT WALLS.		
		CODE DATA					
		NJUCC: NEW JERSEY UNIFORM CONSTRUCTION CODE INTERNATIONAL BUILDING CODE 2015 NJ ED.					
		REHABILITATION CODE: ALTERATION NJAC 5:23-6					
		USE GROUP: B					
		TYPE OF CONST.: 3B (EXISTING)					
		SPRINKLER: N.A.					
		TOTAL BUILDING SQUARE FOOTAGE: ±64,150 SQ. FT.					
		FIRST FLOOR: ±37,450 SQ. FT.					
		SECOND FLOOR: ±26,700 SQ. FT.					
		NUMBER OF STORIES: 2					
		AREA OF CONSTRUCTION: ±600 SQ. FT.					
		VOLUME OF CONSTRUCTION: N/A					
		ALL WORK SHALL CONFORM TO ALL RULES AND REGULATIONS OF WILLIAM PATERSON UNIVERSITY AND ALL GOVERNING AUTHORITIES HAVING JURISDICTION. THIS INCLUDES BUT IS NOT LIMITED TO: FIRE CODES, BUILDING AND CONSTRUCTION CODES, CONTROLLED INSPECTIONS, MATERIAL TESTING, LABOR LAW, AND ZONING AND HEALTH REGULATIONS.					
		LISTED BELOW ARE THE CURRENT ADOPTED CODES UNDER THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE (U.C.C.):					
		INTERNATIONAL BUILDING CODE – NEW JERSEY EDITION 2015 INTERNATIONAL MECHANICAL CODE 2015 ASHRAE 90.1–2013 2015 THE NATIONAL ELECTRICAL CODE 2014 THE NATIONAL STANDARD PLUMBING CODE 2015 NJ REHAB CODE NJAC 5:23-6 BARRIER FREE SUBCODE ANSI A117.1–2009					
		ANY WORK WHICH DEVIATES FROM SUCH STANDARDS SHALL BE RECTIFIED TO THE SATISFACTION OF THE GOVERNING AUTHORITY. THE REQUIREMENTS OF GOVERNING AUTHORITIES SHALL SUPERSEDE THE DRAWINGS AND SPECIFICATIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED BY WRITTEN CHANGE ORDER REQUEST BEFORE SUCH WORK IS STARTED. NON-FAMILIARITY WITH GOVERNING RULES AND REGULATIONS SHALL NOT BE CAUSE FOR AN EXTRA CHARGE IN THE EVENT THAT WORK MUST BE REPLACED FOR NONCOMPLIANCE.					
		EXISTING EXITING SHALL REMAIN.					
		CAMPUS KEY PLAN		TRUE NORTH			
		LIST OF DRAWINGS					
		T1.00 TITLE SHEET					
		ARCHITECTURAL					
		D1.01 PARTIAL DEMOLITION FLOOR PLAN & EGRESS PLAN					
		A1.01 PARTIAL CONSTRUCTION FLOOR PLAN					
		A2.01 SECTIONS, DETAILS, & SCHEDULE					

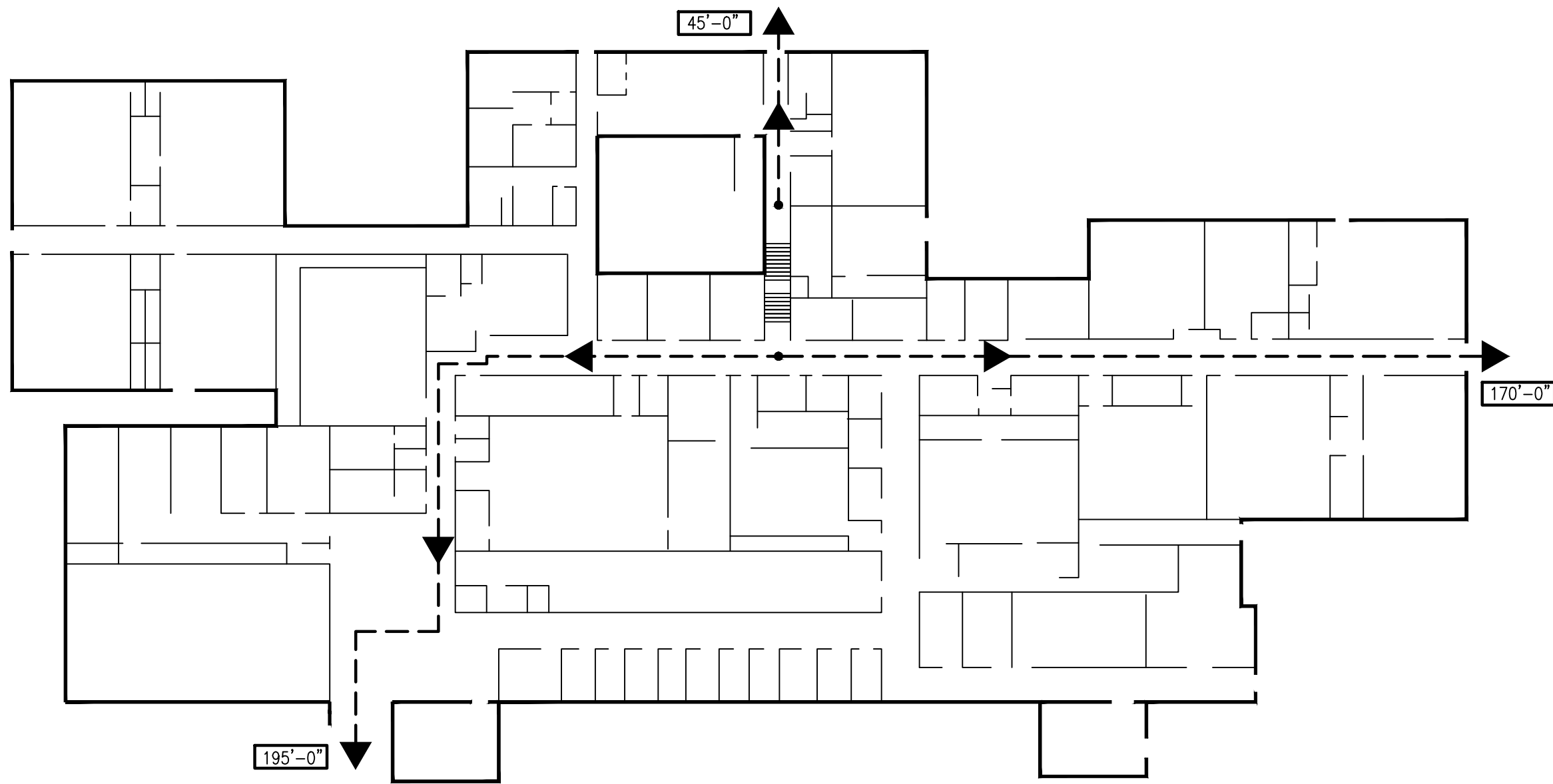
PARETTE SOMJEN ARCHITECTS A LIMITED LIABILITY CORPORATION		
439 Route 46 East Rockaway, NJ 07866 Tel. 973.586.2400 Fax. 973.586.2401 www.planetPSA.com		
PROPOSED IMPROVEMENTS FOR WILLIAM PATERSON UNIVERSITY: ADA ACCESSIBILITY IMPROVEMENTS AT HOBART HALL 300 POMPTON ROAD WAYNE, NEW JERSEY 07470 BLOCK: 2904 LOT: 15		

REV	DATE	REMARK
□	Marc R. Parette A.I.A.	NCARB Registration 44264 New Jersey Architect 10436 New York Architect 024312 Pennsylvania Architect 0147984B Maryland Architect 10445 New Jersey Planner 4981 Alabama Architect 5996 Louisiana Architect 6261 Florida Architect AR 95131 Michigan Architect 1301053053 Nevada Architect 6311
□	Gregory J. Somjen A.I.A.	NCARB Registration 47178 New Jersey Architect 13349 Massachusetts Architect 9629 Delaware Architect 6616 Virginia Architect 0401 011210 Texas Architect 15996 Connecticut Architect 8622 New York Architect 032435-1 Nevada Architect 6280 District Of Columbia Architect 101294
□	William Bannister, A.I.A.	New Jersey Architect 19142
□	Joshua D. Thompson, A.I.A.	New Jersey Architect 20153

SIGNATURE	
TITLE SHEET	
THE SCALE REPRESENTED ON THESE DRAWINGS IS ONLY VALID IF THE DRAWING IS 36"x24". DRAWINGS WHICH ARE NOT PLOTTED AT THE SPECIFIED SHEET SIZE ARE NOT TO SCALE.	
WB PROJECT MANAGER	SHEET NUMBER
LC DRAWN BY	T1.00
7034 PROJECT NUMBER	
4 NOVEMBER 2016 RELEASE DATE © COPYRIGHT 2016 PARETTE SOMJEN ARCHITECTS L.L.C.	



1 PARTIAL DEMOLITION FLOOR PLAN SCALE: 1/4" = 1'-0"



2 EGRESS PLAN SCALE: 1/32" = 1'-0"

GENERAL DEMOLITION NOTES:

CONTRACTOR TO PROTECT THE BUILDING AND ITS CONTENTS TO REMAIN FROM WEATHER AND DAMAGE DURING THE DURATION OF DEMOLITION AND CONSTRUCTION.

THE EXISTENCE & LOCATION OF DEMOLITION INDICATED AS EXISTING IN THESE DRAWINGS IS NOT GUARANTEED. ANY & ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THESE DRAWINGS DO NOT CLAIM TO SHOW ALL EXISTING CONDITIONS OR DIMENSIONS. FIELD VERIFICATION IS REQUIRED.

CONTRACTOR TO COORDINATE WITH UNIVERSITY/ OWNER REPRESENTATIVE IN REGARDS TO THE POSSIBLE SALVAGE OF ANY EXISTING BUILDING COMPONENTS.

ALL MATERIALS TO BE RECYCLED & DISPOSED OF IN A CODE-COMPLIANT MANNER.

ALL EXITING ITEMS TO REMAIN SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION & CONSTRUCTION. (TYP.)

CONTRACTOR TO PATCH & REPAIR ALL EXISTING SURFACES IN PREPARATION OF NEW FINISH INSTALLATION. PROTECT EXISTING SURFACES TO REMAIN THROUGHOUT DURATION OF DEMOLITION & CONSTRUCTION. (TYP.)

EACH TRADE IS RESPONSIBLE FOR DEMOLITION OF EACH ITEM IDENTIFIED IN THE DRAWINGS AND RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DOCUMENTS FOR SCOPE. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ITEMS REQUIRED TO INSTALL NEW WORK.

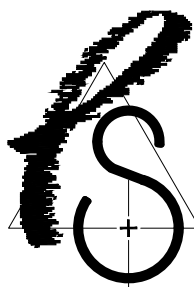
DRAWING NOTES:

- 1 EXISTING RECEPTACLES, SWITCH, THERMOSTAT, ELECTRICAL PANEL, DATA, LIFE SAFETY EQUIPMENT, AND ASSOCIATED HARDWARE, WIRING, AND ACCESSORIES, ETC. TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 2 EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 3 EXISTING DOOR, FLOOR-MOUNTED DOOR STOP, AND HARDWARE TO BE REMOVED. EXISTING FRAME TO REMAIN. PROTECT ADJACENT SURFACES AND PREPARE FOR NEW CONSTRUCTION.
- 4 EXISTING DOOR, FRAME, AND HARDWARE TO BE REMOVED. PROTECT ADJACENT SURFACES AND PREPARE FOR NEW CONSTRUCTION. REMOVE EXISTING LOCKSET FOR REINSTALLATION IN NEW DOOR.
- 5 EXISTING MECHANICAL, PLUMBING, AND/OR ELECTRICAL EQUIPMENT TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 6 EXISTING FLOOR FINISH, BASE TRIM, WALL FINISH, ETC. TO REMAIN UNLESS NOTED OTHERWISE. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 7 EXISTING RUBBER BASE TRIM TO BE REMOVED. PROTECT ADJACENT SURFACES AND PREPARE FOR NEW CONSTRUCTION.
- 8 EXISTING CABINET HEATER TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 9 EXISTING CHIMNEY AND FLUE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 10 EXISTING CEILING AND STRUCTURE ABOVE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 11 EXISTING WALL, BASE TRIM, AND ANY ASSOCIATED HARDWARE, WIRING, AND ACCESSORIES TO BE REMOVED TO EXTENT INDICATED. REMOVE MASONRY FLUSH TO FLOOR. PROTECT ADJACENT SURFACES AND PREPARE FOR NEW CONSTRUCTION. EXISTING WALL IS ASSUMED NOT TO BE LOAD-BEARING; VERIFY IN FIELD AND TEMPORARILY SHORE IF NECESSARY.
- 12 EXISTING WALL-MOUNTED HANDRAIL AND ASSOCIATED HARDWARE & ACCESSORIES TO BE REMOVED. PROTECT ADJACENT SURFACES AND PREPARE FOR NEW CONSTRUCTION.
- 13 EXISTING WALL-MOUNTED HANDRAIL TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 14 EXISTING WINDOW TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 15 EXISTING CABINET HEATER AND ASSOCIATED HARDWARE, WIRING, AND ACCESSORIES TO BE REMOVED. OWNER SHALL RESERVE THE RIGHT OF FIRST REFUSAL. TERMINATE WIRING AT ADJACENT "UPSTREAM" CABINET HEATER AS REQUIRED (CABINET HEATER ELECTRICAL PANEL IS LOCATED IN ROOM #305E ACROSS COURTYARD).

SYMBOL LEGEND:

	NOT IN SCOPE		FEC	FP	FIRE PANEL/ FIRE ALARM/ FIRE EXTINGUISHER CABINET TO REMAIN
	EXISTING CONSTRUCTION TO REMAIN				DOMESTIC HOT WATER HEATER TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED				THERMOSTAT TO REMAIN
	CEILING ABOVE				ELECTRICAL PANEL COMPONENTS TO REMAIN
	STRUCTURE ABOVE		\$		SWITCHES AND RECEPTACLES TO REMAIN
	FLOOR COVERING/ FLOOR TYPE CHANGE				SWITCHGEAR TO REMAIN
	DOOR TO REMAIN				DRINKING FOUNTAIN TO REMAIN
	CABINET HEATER TO REMAIN				
	EXIT SIGN TO REMAIN				
	DIRECTION OF EGRESS TRAVEL				
	TOTAL EGRESS TRAVEL DISTANCE				

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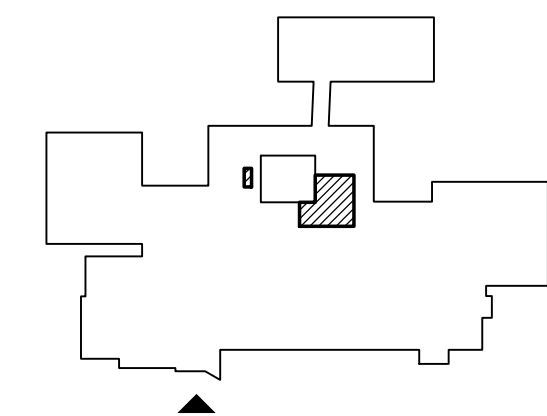
ARCHITECTS
A LIMITED LIABILITY CORPORATION

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PROPOSED IMPROVEMENTS FOR
WILLIAM PATERSON UNIVERSITY:

ADA ACCESSIBILITY
IMPROVEMENTS AT
HOBART HALL
300 POMPTON ROAD
WAYNE, NEW JERSEY 07470
BLOCK: 2904 LOT: 15

KEY PLAN N.T.S.



11/03/16 ISSUED FOR BIDDING

REV DATE REMARK

□ Marc R. Parette A.I.A.	
NCARB Registration	44264
New Jersey Architect	10436
New York Architect	024312
Pennsylvania Architect	014798B
Maryland Architect	10445
New Jersey Planner	4981
Alabama Architect	5996
Louisiana Architect	6261
Florida Architect	AR 93131
Michigan Architect	1301053053
Nevada Architect	6311
□ Gregory J. Somjen A.I.A.	
NCARB Registration	47178
New Jersey Architect	13349
Massachusetts Architect	9629
Delaware Architect	6616
Virginia Architect	0401 011210
Texas Architect	15996
Connecticut Architect	8622
New York Architect	032435-1
Nevada Architect	6280
District Of Columbia Architect	101294
□ William Bannister, A.I.A.	
New Jersey Architect	19142
□ Joshua D. Thompson, A.I.A.	
New Jersey Architect	20153

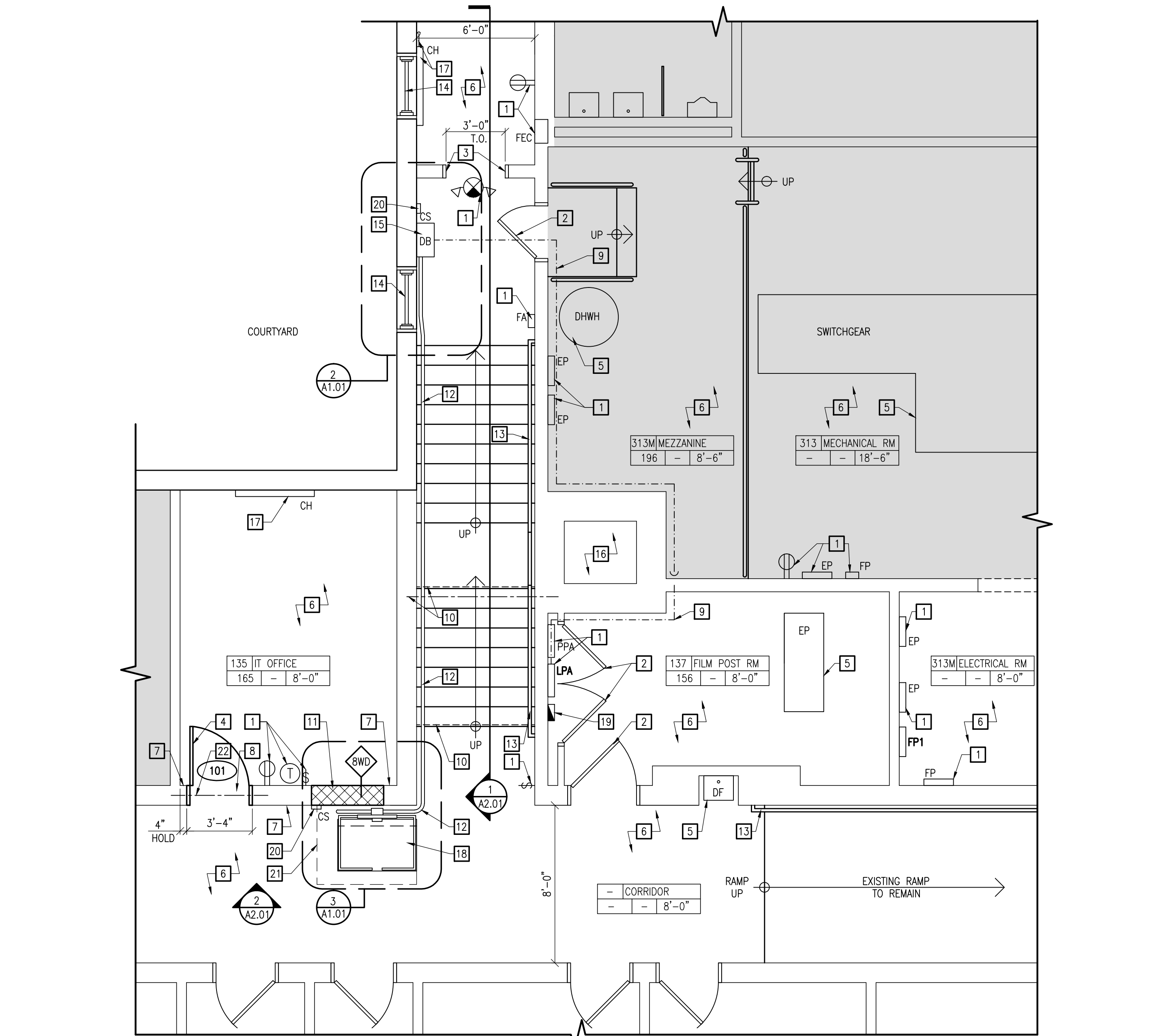
SIGNATURE

PARTIAL
DEMOLITION
FLOOR PLAN &
EGRESS PLAN

THE SCALE REPRESENTED ON THESE DRAWINGS IS ONLY VALID
IF THE DRAWING IS 36" x 24". DRAWINGS WHICH ARE NOT
PLOTTED AT THE SPECIFIED SHEET SIZE ARE NOT TO SCALE.

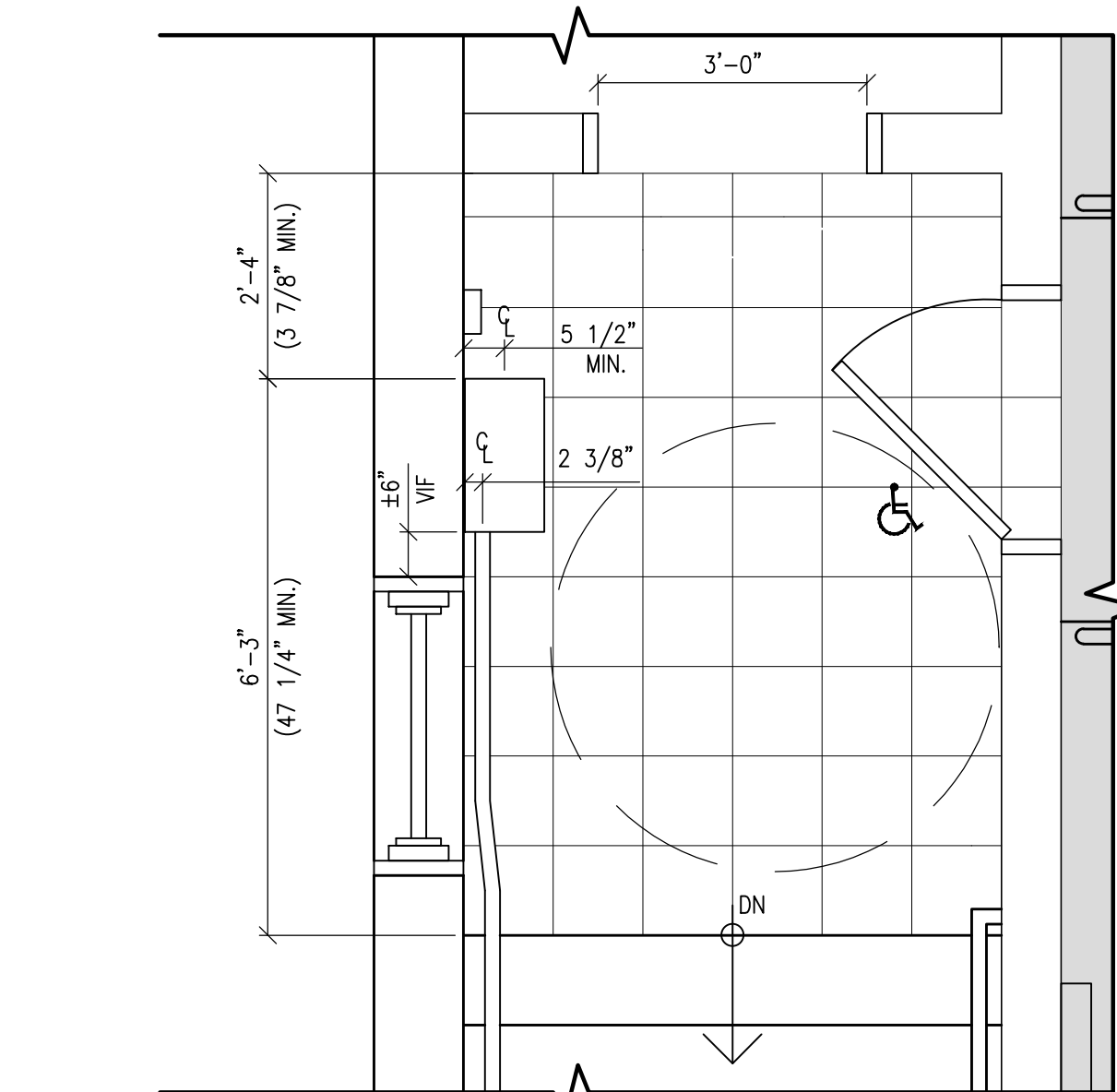
WB PROJECT MANAGER	SHEET NUMBER
LC DRAWN BY	D1.01
7034 PROJECT NUMBER	

4 NOVEMBER 2016
RELEASE DATE: © COPYRIGHT 2016 PARETTE SOMJEN ARCHITECTS LLC.

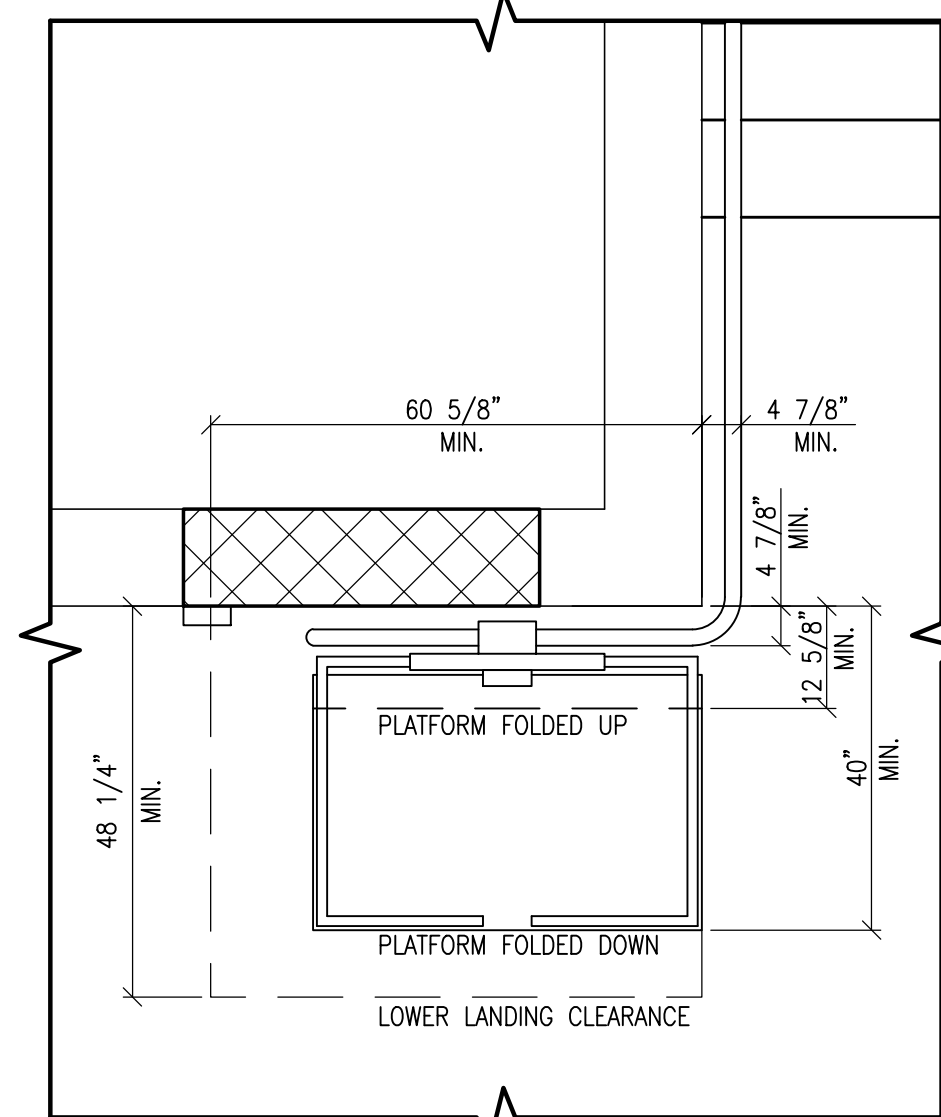


1 PARTIAL CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"



2 DRIVE CLEARANCES SC: 1/2" = 1'-0"



3 LANDING CLEARANCES SC: 1/2" = 1'-0"

GENERAL CONSTRUCTION NOTES:

CONSTRUCTION SHALL BE NON-COMBUSTIBLE. ANY LUMBER MUST BE FIRE RETARDANT AS PER INTERNATIONAL BUILDING CODE 2015, NEW JERSEY EDITION, SECTION 2303.2, AS PER NEW JERSEY UNIFORM CONSTRUCTION CODE N.J.A.C. 5:23-6.6.

EACH TRADE IS RESPONSIBLE FOR CONSTRUCTION OF EACH ITEM IDENTIFIED IN THE DRAWINGS AND RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DOCUMENTS FOR SCOPE. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF ITEMS REQUIRED TO INSTALL NEW WORK.

PROVIDE SHOP DRAWINGS AND/OR SUBMITTALS FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION OF ALL FIXTURES, ACCESSORIES, HARDWARE, AND FINISHES. PROVIDE ADDITIONAL SHOP DRAWINGS/ SUBMITTALS AS REQUIRED BY SPECIFICATIONS.

THE EXISTENCE & LOCATION OF CONSTRUCTION INDICATED AS EXISTING IN THESE DRAWINGS IS NOT GUARANTEED. ANY & ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THESE DRAWINGS DO NOT CLAIM TO SHOW ALL EXISTING CONDITIONS OR DIMENSIONS. FIELD VERIFICATION IS REQUIRED.

ALL WALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE (WHETHER GYPSUM BOARD OF CMU).

WHERE REQUIRED BY NEW CONSTRUCTION, THE CONTRACTOR SHALL PATCH, REPAIR, AND/OR REPLACE EXISTING CONSTRUCTION TO PROVIDE "AS NEW" SURFACES TO MATCH AND MEET ADJACENT CONSTRUCTION.

ALL NEW INTERIOR SURFACES TO BE FINISHED TO MATCH EXISTING ADJACENT SURFACES.

NEW DOOR FRAME IS TO BE INSTALLED PLUMB AGAINST ADJACENT WALLS UNLESS NOTED OTHERWISE.

DRAWING NOTES:

1 EXISTING RECEPTACLES, SWITCH, THERMOSTAT, ELECTRICAL PANEL, DATA, LIFE SAFETY EQUIPMENT, AND ASSOCIATED HARDWARE, WIRING, AND ACCESSORIES, ETC. TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

2 EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

3 PAINT EXISTING FRAME TO REMAIN; (1) COAT PRIMER, (2) COATS FINISH PAINT; COLOR AS SELECTED BY OWNER. PATCH FLOOR WITH SIMILAR MATERIALS AT AREA OF DOOR STOP REMOVAL. INSTALL FILLER PLATES AT ALL HINGE AND STRIKE CUTOUTS; FILL ABANDONED SCREW HOLES, ETC.

4 NEW DOOR, FRAME, AND HARDWARE. PATCH FLOOR WITH SIMILAR MATERIAL AT AREA OF WALL REMOVAL. PAINT AFFECTED SURFACES TO MATCH ADJACENT WITH (1) COAT PRIMER, (2) COATS FINISH PAINT. INSTALL EXISTING LOCKSET IN NEW DOOR. REFER TO DOOR SCHEDULE FOR MORE INFORMATION.

5 EXISTING MECHANICAL, PLUMBING, AND/OR ELECTRICAL EQUIPMENT TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

6 EXISTING FLOOR FINISH, BASE TRIM, WALL FINISH, ETC. TO REMAIN UNLESS NOTED OTHERWISE. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

7 NEW RUBBER BASE TRIM. COLOR AND MANUFACTURER TO BE COORDINATED WITH OWNER.

8 NEW ALUMINUM THRESHOLD PER WALL WIDTH.

9 DIAGRAMMATIC WIRING. PROVIDE RACEWAY MOLDING ON EXPOSED FINISHED SURFACES; PROVIDE ELECTRICAL METALLIC TUBING (PER APPROPRIATE DIAMETER) IN UNFINISHED AREAS. COLOR AS SELECTED BY OWNER. CONCEAL AS MUCH AS POSSIBLE ABOVE CEILING. REFER TO PIPE PENETRATION DETAIL FOR MORE INFORMATION.

10 EXISTING CEILING AND STRUCTURE ABOVE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

11 NEW WALL CONSTRUCTION. SAWCUT AND TOOTH-IN AS REQUIRED; MATCH COURSE. PATCH EXISTING ADJACENT SURFACES TO REMAIN AS REQUIRED. PAINT AFFECTED SURFACES TO MATCH ADJACENT WITH (1) COAT PRIMER, (2) COATS FINISH PAINT. REFER TO WALL PARTITION SCHEDULE FOR MORE INFORMATION. (NOTE: PAINT ENTIRE WALL, INSIDE CORNER TO INSIDE CORNER AT ROOM 135.)

12 NEW 2"Ø UPPER AND LOWER GUIDE TUBES; PROVIDE STABILIZER TUBE AT AREAS OF HORIZONTAL TRAVEL. SECURE PER MANUFACTURER'S RECOMMENDATIONS WITH DIRECT-MOUNT STRUT TO SOLID WALL.

13 EXISTING WALL-MOUNTED HANDRAIL TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

14 EXISTING WINDOW TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

15 NEW 20-1/2" X 41-1/2" X 10-5/8" 2HP 208-240 VAC SINGLE-PHASE 50/60 HZ DRIVE BOX WITH DEDICATED 20 AMP CIRCUIT. MOUNT IN "OFFSET" CONFIGURATION. MOUNT PER MANUFACTURER'S RECOMMENDATION; REFER TO DETAILS FOR CLEARANCES.

16 EXISTING CHIMNEY AND FLUE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

17 EXISTING CABINET HEATER TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.

18 NEW 31-1/2" X 48" INCLINED PLATFORM LIFT WITH ANTI-SLIP DECK SURFACE; "GSL ARTIRA" BY GARAVENTA LIFT OR APPROVED EQUAL. PROVIDE ELECTROSTATIC POWDER COAT FINISH; COLOR AS SELECTED BY OWNER. PROVIDE PLATFORM, DRIVE SYSTEM, GUIDE RAILS, DRIVE BOX, CURVED SAFETY ARMS, GRAB BAR, POWER SUPPLY, PEDESTRIAN SAFETY LIGHTS, PLATFORM CONTROLS, SAFETY SENSORS, WIRE HAUL ROPE, PLATFORM HANGER, UPPER & LOWER CARRIAGES, OVER-SPEED SAFETY, CALL STATIONS AT UPPER & LOWER LANDINGS, AND ALL OTHER REQUIRED COMPONENTS BY MANUFACTURER. TIE INTO FIRE ALARM PANEL "FP1" AS REQUIRED; WIRE TO POWER SUPPLY. ALL REQUIRED WALL PENETRATIONS TO BE PAINTED AND SEALED PER DETAILS.

19 NEW POWER SUPPLY. TIE INTO ELECTRIC PANEL "LPA" AS REQUIRED. MOUNT PER MANUFACTURER'S RECOMMENDATIONS. ALL REQUIRED WALL PENETRATIONS TO BE PAINTED AND SEALED PER DETAILS. REFER TO WIRING DIAGRAM FOR MORE INFORMATION.

20 NEW SURFACE-MOUNTED CALL STATION AT UPPER & LOWER LANDING. MOUNT PER MANUFACTURER'S RECOMMENDATION.

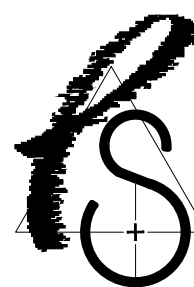
21 NEW 90° LOWER LANDING. REFER TO DETAIL FOR CLEARANCES.

22 NEW LOOSE LINTEL, MINIMUM 8" BEARING. REFER TO DETAIL FOR MORE INFORMATION.

SYMBOL LEGEND:

	NOT IN SCOPE		FIRE PANEL/ FIRE ALARM/ FIRE EXTINGUISHER CABINET TO REMAIN
	EXISTING CONSTRUCTION TO REMAIN		DOMESTIC HOT WATER HEATER TO REMAIN
	CEILING ABOVE		THERMOSTAT TO REMAIN
	EXISTING STRUCTURE ABOVE		ELECTRICAL PANEL COMPONENTS TO REMAIN
	NEW ELECTRIC WIRING (ASSUMED)		SWITCHES AND RECEPTACLES TO REMAIN
	FLOOR COVERING/ FLOOR TYPE CHANGE		SWITCHGEAR TO REMAIN
	DOOR TO REMAIN		DRINKING FOUNTAIN TO REMAIN
	CABINET HEATER TO REMAIN		NEW PLATFORM LANDING WITH CLEARANCES
	EXIT SIGN TO REMAIN		NEW DRIVEBOX WITH GUIDE TUBES AND WALL-MOUNTED CALL STATION
	NEW WALL CONSTRUCTION INFILL AND TAG		
	NEW DOOR, FRAME, & HARDWARE WITH TAG		

PARETTE
SOMJEN



ARCHITECTS
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Rockaway, NJ 07866
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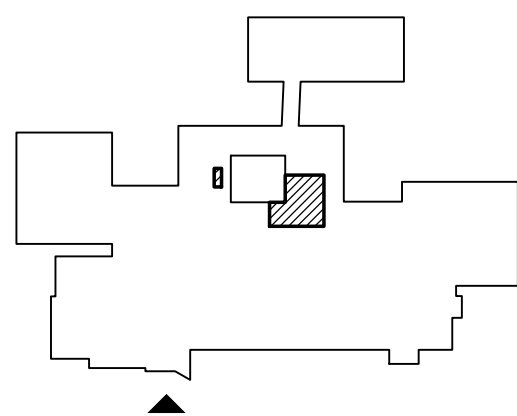
PROPOSED IMPROVEMENTS FOR
WILLIAM PATERSON UNIVERSITY:

ADA ACCESSIBILITY
IMPROVEMENTS AT
HOBART HALL

300 POMPTON ROAD
WAYNE, NEW JERSEY 07470
BLOCK: 2904 LOT: 15

KEY PLAN

N.T.S.



11/03/16 ISSUED FOR BIDDING

REV DATE REMARK

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NCARB Registration	44264
New Jersey Architect	10436
New York Architect	024312
Pennsylvania Architect	014798B
Maryland Architect	10445
New Jersey Planner	4981
Alabama Architect	5996
Louisiana Architect	6261
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New York Architect	032435-1
Nevada Architect	6280
District Of Columbia Architect	101294

William Bannister, A.I.A.

New Jersey Architect	19142
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Joshua D. Thompson, A.I.A.

New Jersey Architect	20153
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SIGNATURE

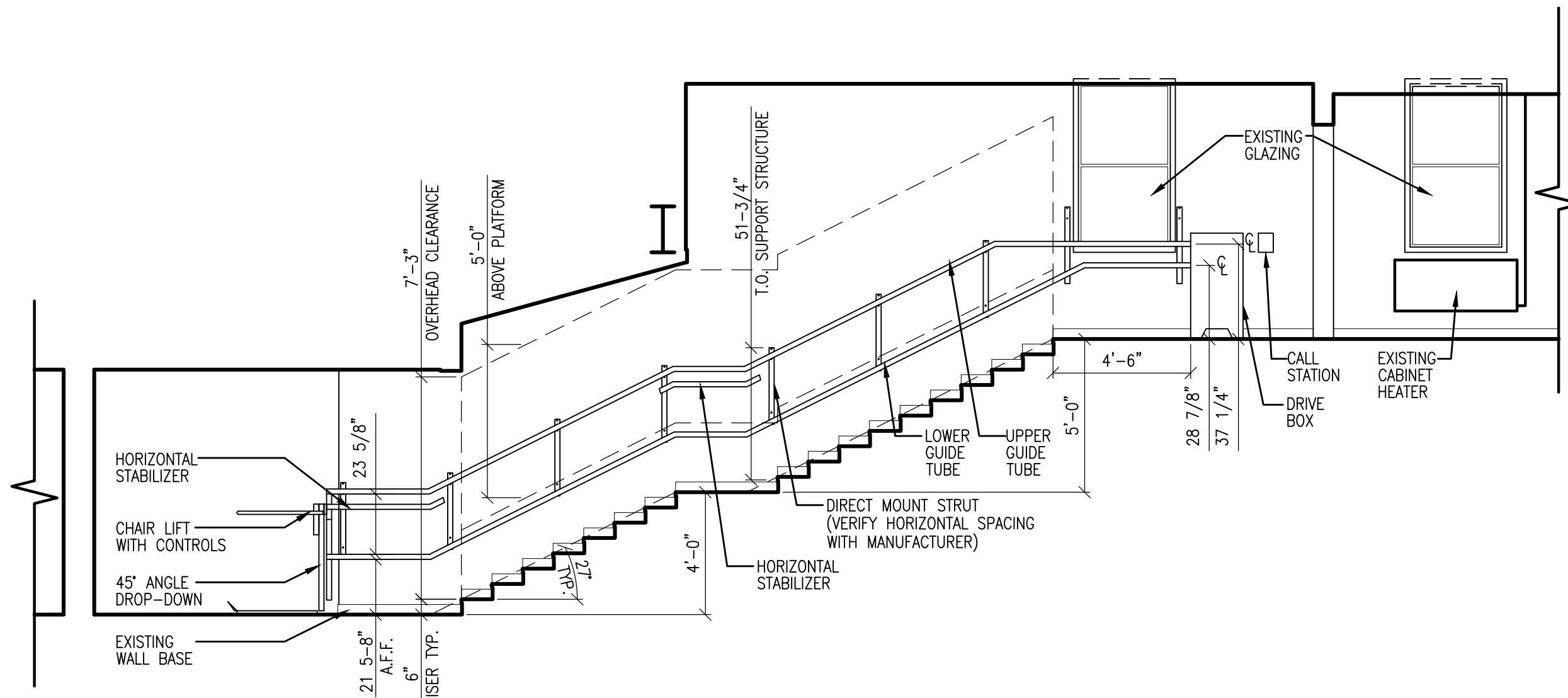
PARTIAL
CONSTRUCTION
FLOOR PLAN

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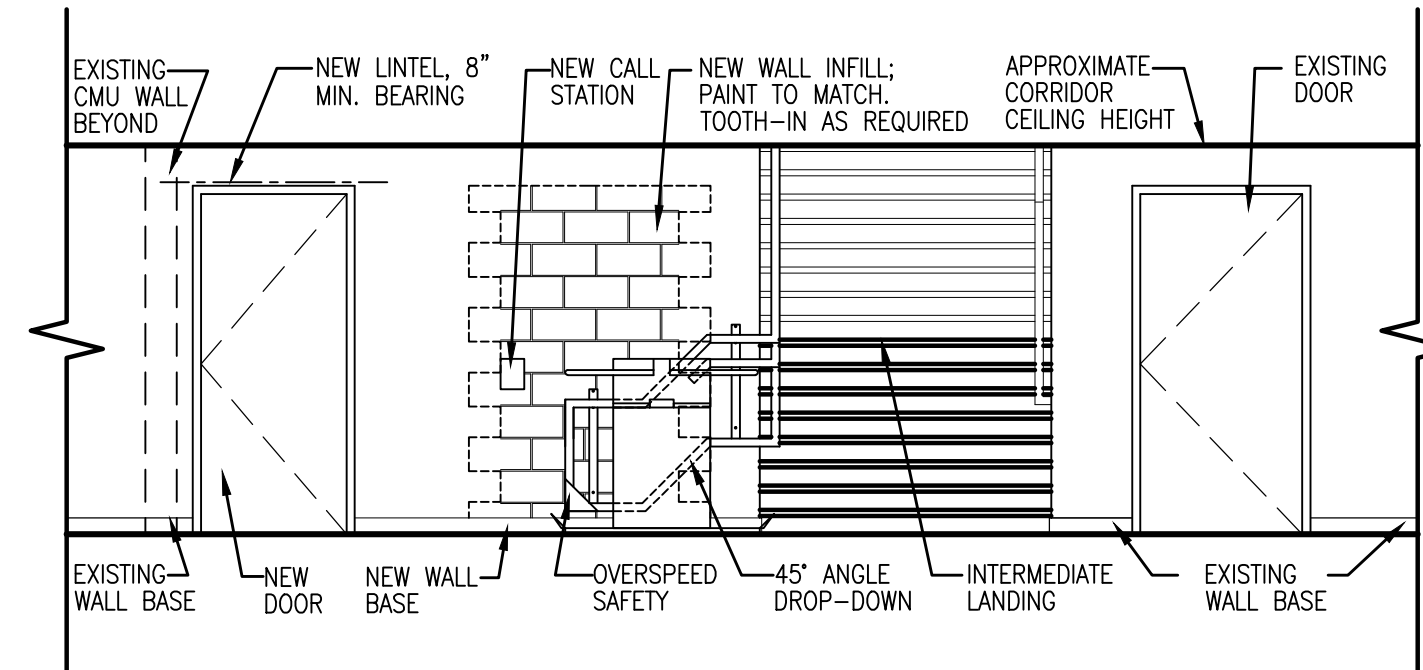
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LC DRAWN BY	A1.01
7034 PROJECT NUMBER	

4 NOVEMBER 2016

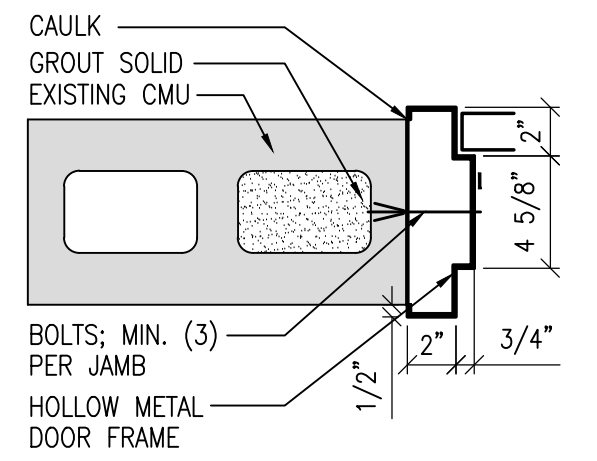
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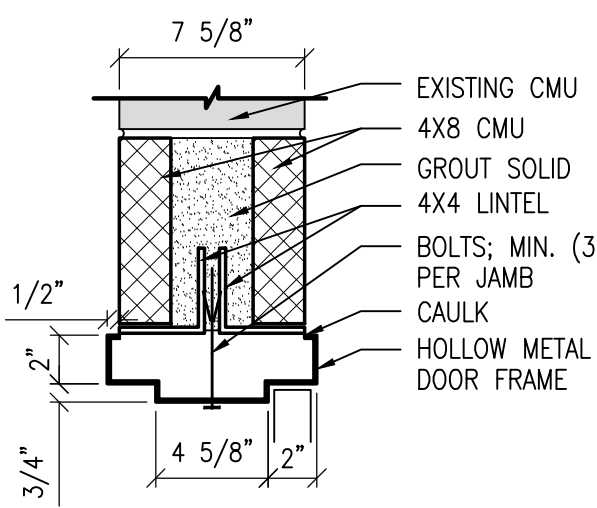
1 SCHEMATIC STAIRS SECTION SCALE: 1/4" = 1'-0"



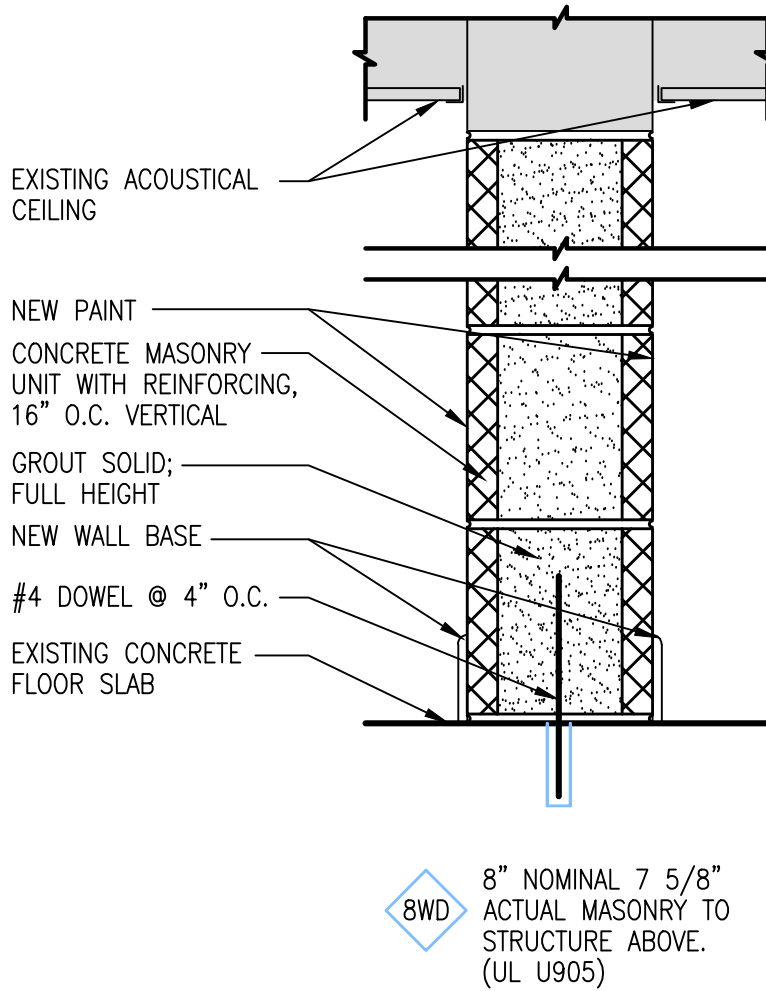
2 CORRIDOR ELEVATION SCALE: 1/4" = 1'-0"



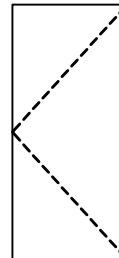
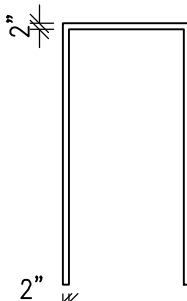
3 DOOR JAMB SC: 1 1/2" = 1'-0"

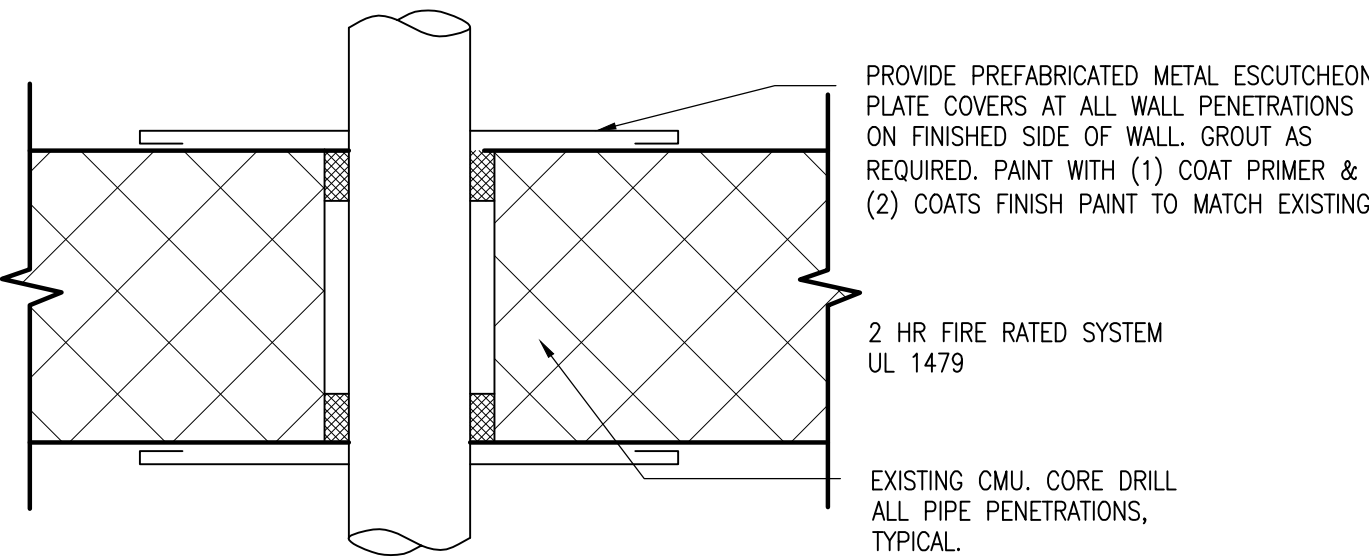


4 DOOR HEAD SC: 1 1/2" = 1'-0"

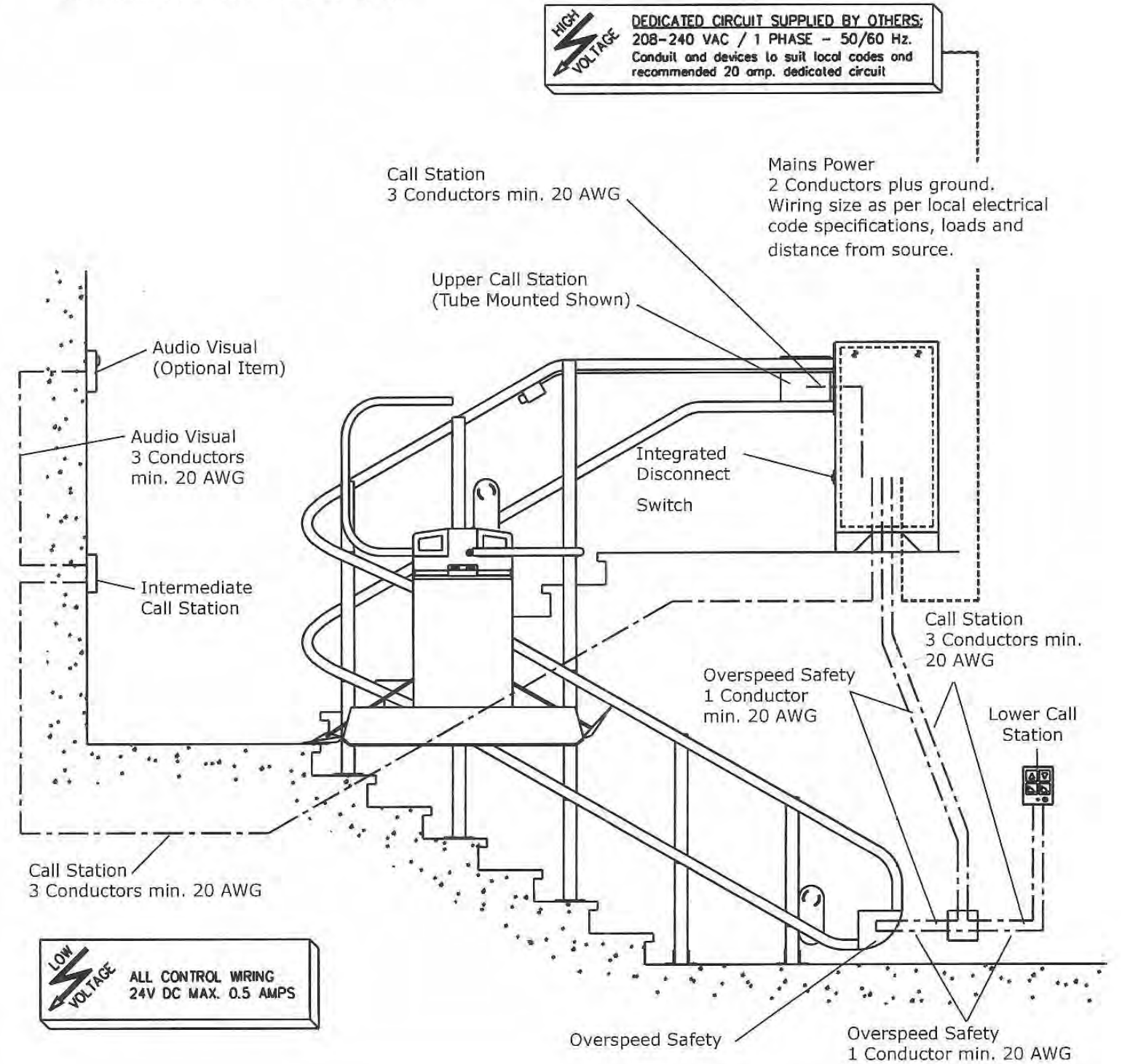


5 PARTITION SC: 1 1/2" = 1'-0"

DOOR SCHEDULE															
DOOR SYMBOL	DOOR SIZE		DOOR			FRAME		ASSEMBLY				REMARKS			
	THICKNESS X WIDTH X HEIGHT (TO MATCH BLDG. STANDARD)		STYLE	CORE (SOLID/HOLLOW)		MATERIAL	FINISH	TYPE	FINISH	STOP	HARDWARE	CLOSER	TRANSITION	SILENCER	FIRE RATING
101	1-3/4" x 3'-0" x 7'-0"		1	S	W	ST	F1	PT	WS	1.0	●	●	●	20M	1, 2, 3
STYLES	<div><div></div><div>STYLE 1 FLUSH</div></div> <div><div></div><div>STYLE F1 FRAME</div></div>														
DOOR INFO	DOOR MATERIAL								DOOR FINISH						
	W: SOLID WOOD CORE TO MATCH EXISTING BUILDING STANDARD.								ST: STAIN TO MATCH EXISTING BUILDING STANDARD.						
FRAME INFO	FRAME TYPE								FRAME FINISH						
	F1: 2" WELDED HOLLOW METAL TO MATCH EXISTING BUILDING STANDARD.								PT: PAINTED FRAMES TO MATCH EXISTING BUILDING STANDARD; (1) COAT PRIMER, (2) COATS FINISH.						
ASSEMBLY INFO	STOP TYPE								HARDWARE TYPE (1.0)						
	WS: WALL STOP								1.0 OFFICE (3) HINGES: BEST FBB179 4 1/2" x 4 1/2" (1) LOCKSET: EXISTING, RELOCATED (1) CLOSER: LCN 4000 SERIES (2) PROTECTION PLATES: ROCKWOOD K1050 (10" x 2" LESS WIDTH) (3) SILENCERS: ROCKWOOD 608 FINISHES AS SELECTED BY OWNER.						
NOTES	1. DOOR TO RECEIVE NEW ADA LEVER HARDWARE AS PER BUILDING STANDARD. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO ORDER/INSTALLATION ON HARDWARE TYPE (i.e. PASSAGE, PRIVACY, KEYED, ETC). TYP. 2. CONTRACTOR TO COORDINATE WITH OWNER FOR KEYING AND SECURITY REQUIREMENTS ON ALL DOORS PRIOR TO ORDER & INSTALLATION. TYP. 3. CONTRACTOR TO FIELD VERIFY THAT ALL EXISTING EGRESS DOORS TO REMAIN ARE OPERATIONAL.														

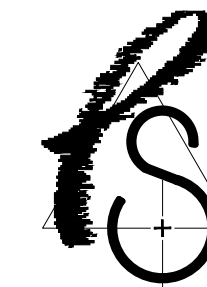


6 PIPE PENETRATION SCALE: 1 1/2" = 1'-0"



7 TYPICAL WIRING LAYOUT SCALE: N.T.S. DIAGRAMMATIC ONLY

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- Marc R. Parette A.I.A.
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New Jersey Architect 10436
New York Architect 024312
Pennsylvania Architect 014798B
Maryland Architect 10445
New Jersey Planner 4981
Alabama Architect 5996
Louisiana Architect 6261
Florida Architect AR 93131
Michigan Architect 1301083053
Nevada Architect 6311
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New York Architect 032435-1
Nevada Architect 6280
District Of Columbia Architect 101294
- William Bannister, A.I.A.
New Jersey Architect 19142
- Joshua D. Thompson, A.I.A.
New Jersey Architect 20153

SECTIONS,
DETAILS, &
SCHEDULE

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WB PROJECT MANAGER
LC DRAWN BY
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